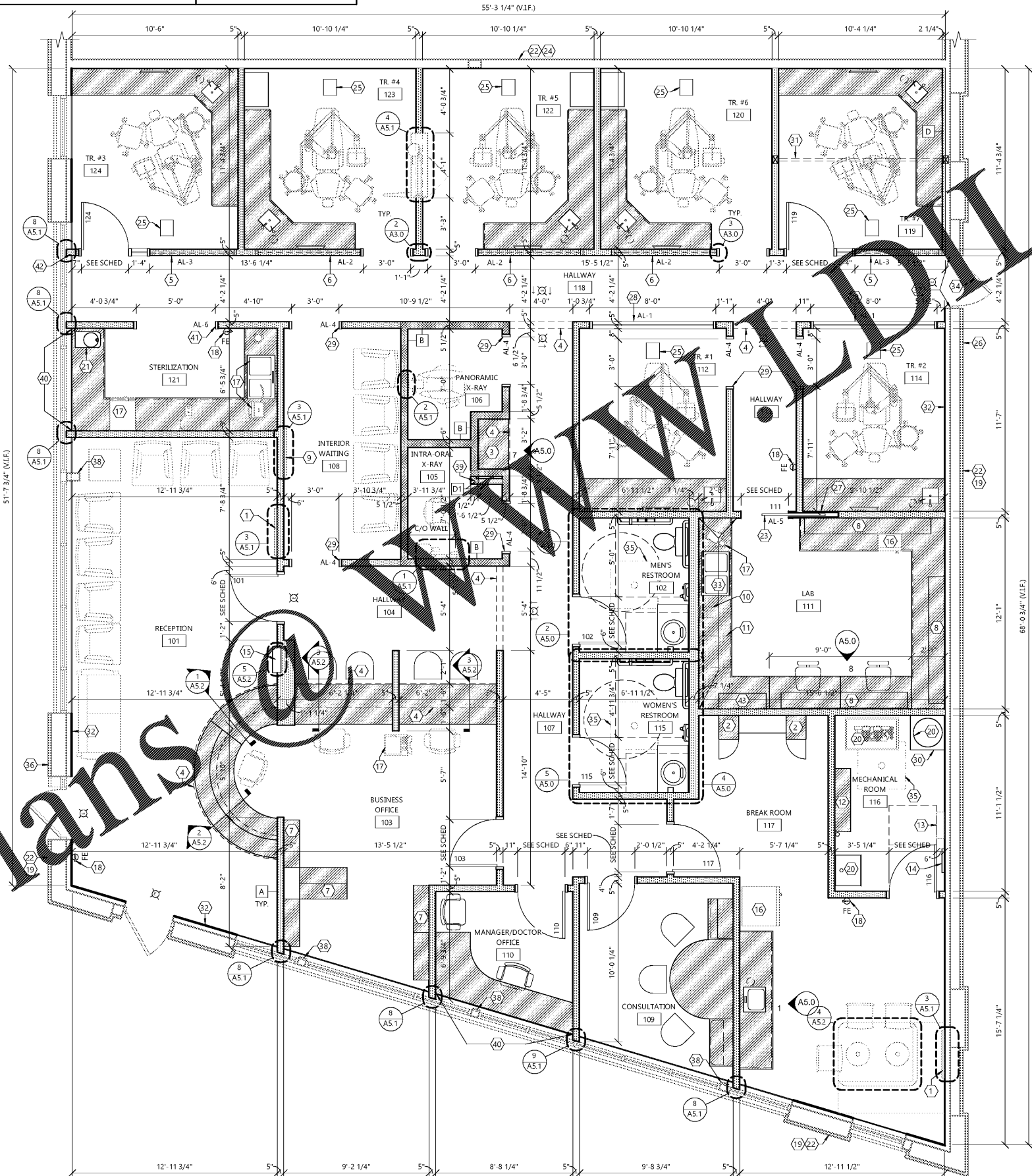
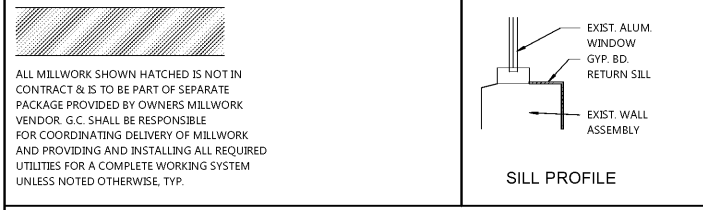


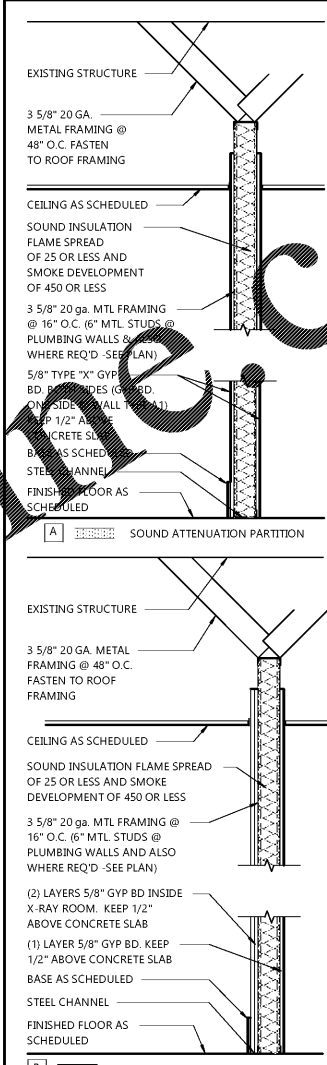
FLOOR PLAN KEYNOTES

- 1 WALL MOUNTED LCD TV G.C. TO PROVIDE APPROPRIATE BLK'G AT 72" A.F.F. TV SHALL NOT PROTRUDE INTO SPACE MORE THAN 4" MAX.
- 2 LOCKERS
- 3 SHELVING BY MILLWORK VENDOR
- 4 SOFFIT ABOVE - REFER TO SHEET **7/A7.1**
- 5 ALUMINUM FRAMED TRANSOM LIGHT ABOVE. SEE AL-3 ON SHEET **A3.0** AND ADDITIONAL INFO
- 6 ALUMINUM FRAMED TRANSOM LIGHT ABOVE. SEE AL-2 ON SHEET **A3.0** AND ADDITIONAL INFO
- 7 FILING CABINETS
- 8 8' SHELVES
- 9 WALL MOUNTED LCD TV G.C. TO PROVIDE APPROPRIATE BLK'G AT 60" A.F.F. TV SHALL NOT PROTRUDE INTO SPACE MORE THAN 4" MAX.
- 10 ARTICULATOR SPACE
- 11 PLASTER CART
- 12 PHONE CABINET
- 13 ELECTRICAL PANEL
- 14 PHONE BOARD
- 15 BOTTLE FILLING STATION
- 16 REFRIGERATOR BY OTHERS
- 17 EQUIPMENT BY OTHERS
- 18 (4) FIRE EXTINGUISHER BY TENANT - SEE DETAIL **7/A5.1**
- 19 EXISTING EXTERIOR BUILDING SHELL WALL TYP.
- 20 PLUMB. CONTRACTOR TO COORDINATE CLEARANCES REQ'D FOR ADM1 SUPPLIED EQUIPMENT PRIOR TO INSTALLING WATER HEATER / MOP SINK
- 21 WATER DISTILLER
- 22 TENANT'S CONTRACTOR TO COORDINATE ALL EQUIPMENT BLOCKING & UTILITIES PRIOR TO INSTALLING 5/8" GYP. BD. - GYP. BD. TO BE TAPED AND SANDED TO ACCEPT TENANT'S WALL FINISHES
- 23 PROVIDE PROPER WALL FRAMING AS REQ'D FOR POCKET DOOR. INSTALL ALUMINUM DOOR FRAME REQ'D FOR POCKET DOOR. SEE DOOR SCHEDULE FOR TYPE OF DOOR AND HARDWARE.
- 24 EXISTING TENANT DEMISING WALL. CONTRACTOR TO VERIFY WALL RATING WITH SHELL DOCUMENTS AND PROVIDE CORRECT FIRE TREATED BLOCKING & FIRE CAULK AT ALL PENETRATIONS TO MAINTAIN RATING AS REQ'D. CONTRACTOR TO INSTALL 1 LAYER 5/8" GYP. BD. ON TENANT SIDE. GYP. BD. TO BE TAPED AND SANDED TO ACCEPT TENANT'S WALL FINISHES.
- 25 SAWCUT AND REMOVE EXISTING FLOOR SLAB & REPLACE AS REQ'D (IF APPLICABLE) FOR UTILITY BOXES G.C. TO COORDINATE - SEE DETAIL **D-3A/MD**
- 26 TENANT'S G.C. TO PROVIDE AND INSTALL MASTER LOCK 540 1D WALL-MOUNTED KEY STORAGE BOX ON EXTERIOR OF BUILDING AT 48" TO CENTER. PLACE AT RIGHT OF LEFT OF DOOR (PREFERRED LOCATION TO BE ON LATCH SIDE OF DOOR)
- 27 PROVIDE WOOD BLOCKING AS REQ'D FOR UPPER CABINETS AT POCKET DOOR LOCATION. SEE DETAIL **3/A7.2**
- 28 SEE AL-1 ALUMINUM ELEVATION ON SHEET **A3.0** FOR ADDITIONAL INFO
- 29 SEE AL-4 ALUMINUM ELEVATION ON SHEET **A3.0** FOR ADDITIONAL INFO
- 30 SWHP - W WATER HEATER WALL HUNG SHELF. SEE DETAIL **6/A5.2** FOR BACKING. - SEE PLUMBING FOR MORE INFORMATION
- 31 CHAIR LIFT RAIL W/ POSTS AT EACH END - SEE SHEETS **A7.1** AND **A7.2** FOR MORE INFORMATION
- 32 GYP. BOARD BY TENANT - GYP. TO EXTEND TO DECK AT PERIMETER WALLS. SEE DETAIL **1/A1.1**
- 33 INSTALL FRP (FIBER REINFORCED PLASTIC) BEHIND THE SINK AND PLASTER AREA FROM FLOOR TO CEILING.
- 34 G.C. TO VERIFY REAR DOOR HARDWARE HAS ADAMS RITE 4590 LATCH PADDLE DEVICE & TO PROVIDE IF IT DOES NOT.
- 35 ALL FLOOR DRAINS BOXED OUT 3'X3' & POURED BACK AFTER SLAB SO PROPER SLOPE IN FLOOR IS ESTABLISHED. SEE PLUMBING FOR MORE INFORMATION.
- 36 GC TO VERIFY IF A KNOX BOX IS EXISTING. IF NOT, LANDLORD IS TO PROVIDE AND COORDINATE LOCATION WITH FIRE MARSHAL.
- 37 PROVIDE GYP. BD. RETURN TO FRAME. PROVIDE VINYL J TRIM & SEALANT (TYP.)
- 38 WRAP COLUMN IN BREAK METAL PAINT TO MATCH EXISTING STOREFRONT
- 39 HOLD STUD FRAMING TIGHT TO COLUMN AS POSSIBLE
- 40 BACK PANEL BY MILLWORK SUPPLIER
- 41 SEE AL-6 ALUMINUM ELEVATION ON SHEET **A3.0** FOR ADDITIONAL INFO
- 42 PROVIDE HEAVY GAUGE STUDS TO FORM BOX COLUMN AT THIS LOCATION. SEE JAMB DETAIL ON SHEET **A3.0**
- 43 3' SHELVES

MILWORK NOTES



PARTITION TYPES



NOTES:
WALL THICKNESSES SHOWN AS NOMINAL
5" = 4 7/8"; 5 1/2" = 5 1/2"; 6 1/2" = 6 5/8";
7 1/4" = 7 1/4"; 8" = 7 7/8"; 9" = 11 7/8"

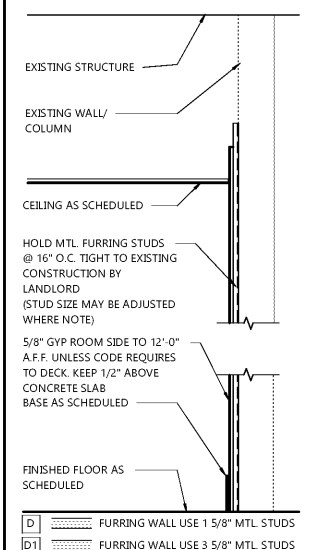
- ALL METAL STUD FRAMING SHALL BE 20 ga. UNLESS NOTED OTHERWISE

B.O.S. HEIGHT:
FRONT APPROX. 15'-6 1/2"
REAR APPROX. 14'-3 1/2"

B.O. DECK HEIGHT:
FRONT APPROX. 17'-4 1/2"
REAR APPROX. 16'-1 1/2"

JOIST SPACING:
STEEL - VARIES

NOTE:
INFORMATION BASED LANDLORD PROVIDED SHELL PLANS. G.C. TO VERIFY ALL CONDITIONS IN FIELD.



SCALE: 1/4" = 1'-0"

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PROJECT INFORMATION

TENANT BUILD-OUT FOR:
ASPEN DENTAL
4753 VALLEY VIEW BLVD. NW • ROANOKE, VA 24012

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE AUG. 30, 2018

REVISIONS

JOB NUMBER

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Order Plans @

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