

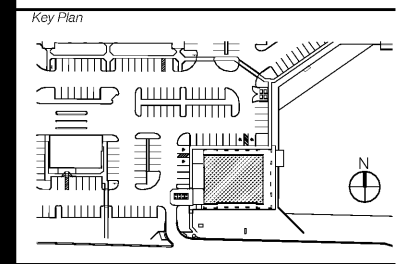
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Revisions/Issues
 06/21/18 PERMIT SET

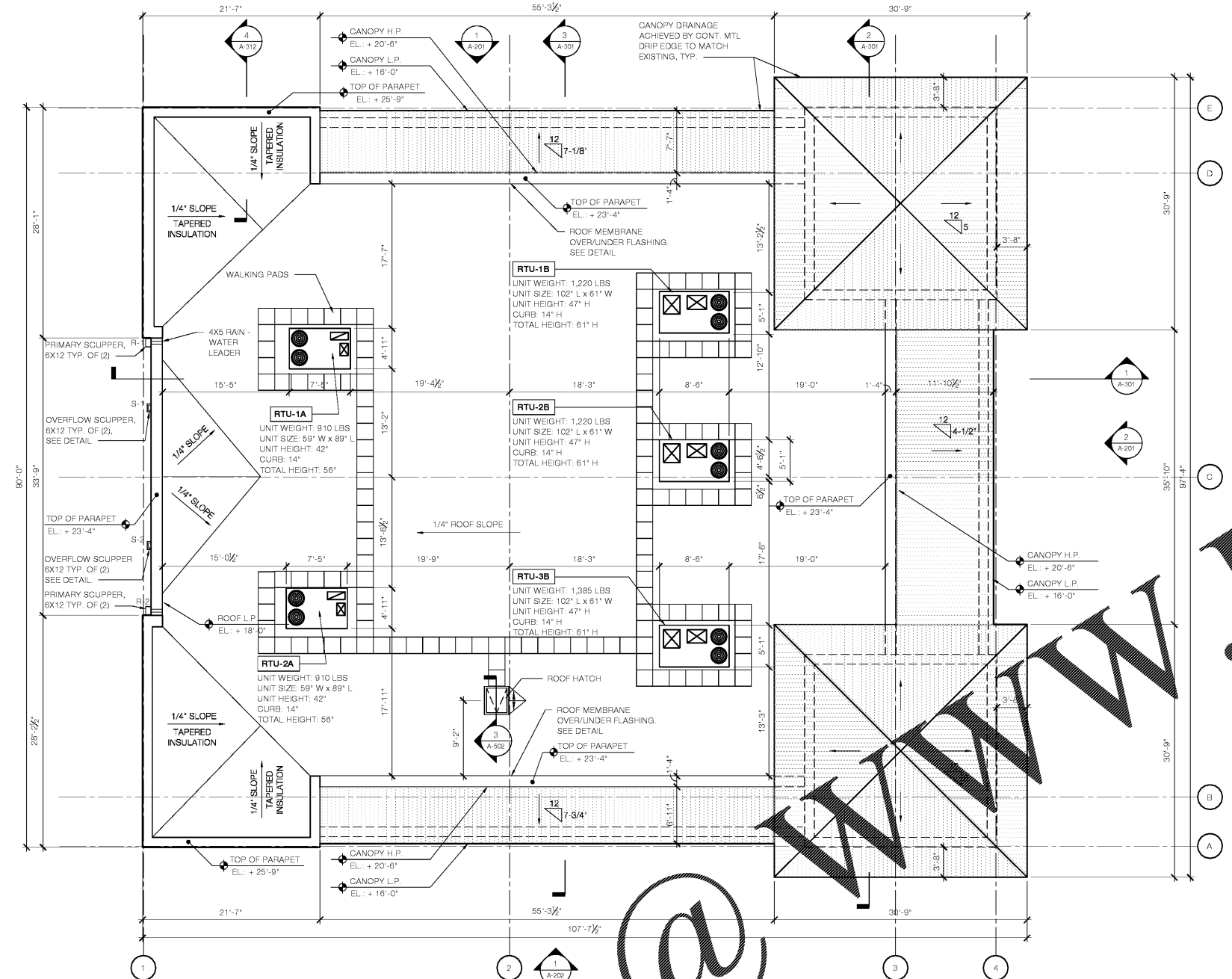


Seal

James L. Cohen AR0015903
 Project Title
SOUTHERN PALM CROSSING
 BUILDING SHELL
 11001-11161 Southern Blvd.
 Royal Palm Beach, FL 33411

Job Number **017512.00**
 Drawing
ROOF PLAN
 Scale **AS SHOWN**
 Drawing Date **06/21/18**

Drawing No.



1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

LEGEND	
	ROOF HATCH
	ROOF TOP UNIT SEE MECHANICAL DRAWINGS
	MARKER ELEVATION HEIGHT

F.B.C TABLE 1508.7	
1. PROVIDE CLEARANCE BELOW RAISED ROOF MOUNTED MECHANICAL UNITS AS FOLLOWS: (MIN. CLEAR BELOW STRUCTURE)	
WIDTH OF MECHANICAL UNIT	MIN. CLEAR
< 24"	14"
24" < 36"	18"
36" < 48"	24"
48" < 60"	30"
GREATER THAN 60"	48"

TYPICAL SPECS FOR MAIN ROOF

MANUFACTURER : FIBERTITE

SPECIFICATION: FIBERTITE - SMO45 ROOF MEMBRANE MECHANICALLY ATTACHED OVER MECHANICALLY FASTENED RIGID INSULATION MIN. 4"

ROOF SYSTEM INSTALLED PER NOA NO. 16-0126.02 SYSTEM TYPE: D(2) REFER TO STRUCTURAL DWGS FOR WIND LOAD PRESSURE.

PROVIDE MIN. 20 YEARS FULL SYSTEM MANUFACTURER'S WARRANTY ON ROOFING AND A MIN. 5 YEARS WARRANTY ON METAL FLASHING. PROVIDE WALKING PADS AROUND EQUIPMENT. ROOF SOLAR REFLECTANCE INDEX (SRI) = 79 OR GREATER.

TYPICAL EXHAUST FAN NOTE

1. MAINTAIN MIN 10' SEPARATION FROM EXHAUST FAN & AIR INTAKES (TYPICAL)

TYPICAL ROOF NOTES

- COORDINATE WITH MEP DWGS FOR FULL EXTENT OF MECHANICAL ROOF WORK
- PROVIDE WALKING PADS AROUND EQUIPMENT.
- ALL ROOF TOP EQUIPMENT MUST BE INSTALLED WITH A MIN. SETBACK OF 10' FROM 200' EDGE OR A FALL PROTECTION 42" GUARD MUST BE PROVIDED
- PROVIDE BURGLAR BARS AT ALL MECHANICAL OPENINGS LARGER THAN 6"x 6" PROVIDE WITH MIN. 2 COATS OF ANTI-RUST PROTECTION. PROVIDE ALTERNATE COST LINE ITEM FOR STAINLESS STEEL BARS.
- ALL ROOF TOP EQUIPMENT MUST BE PROVIDED WITH ENCLOSURE AND ANCHOR SYSTEM AS REQUIRED BY FBC 2017 HIGH VELOCITY ZONE (TYPICAL).
- PROVIDE A MIN 8" HIGH CURB ABOVE FINISHED ROOF ELEVATION
- ALL ROOF TOP BENCHES, SUPPORTS OR DUNNAGE FOR EQUIPMENT TO BE GALVANIZED. ALL EXPOSED WELDS TO BE PRIMED & PAINTED W/ ANTI RUST PAINT.
- ALL ROOF TOP UNITS REQUIRING VIBRATION ISOLATORS (MUST BE PROVIDED AND INSTALLED BY MANUFACTURER OR CONTRACTOR) INCLUDING BUT NOT LIMITED TO ROOF TOP UNITS.
- METAL DECK SHALL BE GALV. NON PERFORATED
- CONTRACTOR SHALL PROVIDE W.P. ROOF FLASHING AND PROTECTION FOR ALL ROOF PENETRATIONS
- CONTRACTOR IS RESPONSIBLE FOR HURRICANE STRAPS FOR ALL ROOF TOP EQUIPMENT & ACCESSORIES AS REQ'D
- DO NOT PROVIDE BRIDGING OR OBSTRUCTION UNDER ROOF TOP UNIT OPENINGS
- FANS AND CURB SIZES TO BE COORDINATE WITH MECHANICAL DWGS AND FAN PRIOR TO FABRICATION AND INSTALLATION

2 NOTES AND LEGEND
 SCALE: 1/8" = 1'-0"

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