

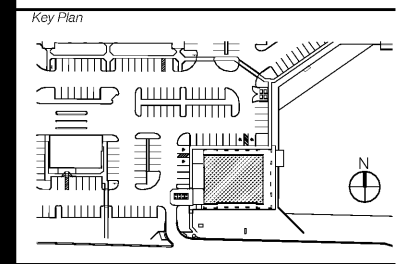
SHORE PROPERTIES
 301 Fellowship Road, Suite 116
 Mount Laurel, NJ 08054
 Telephone (856) 780-4460
 Fax

Architect
SBLM Architects
 11430 N. Kendall Drive, Suite 310
 Miami, FL 33176
 Telephone 305 412 9187
 Fax 305 412 6731
 www.sblm.com

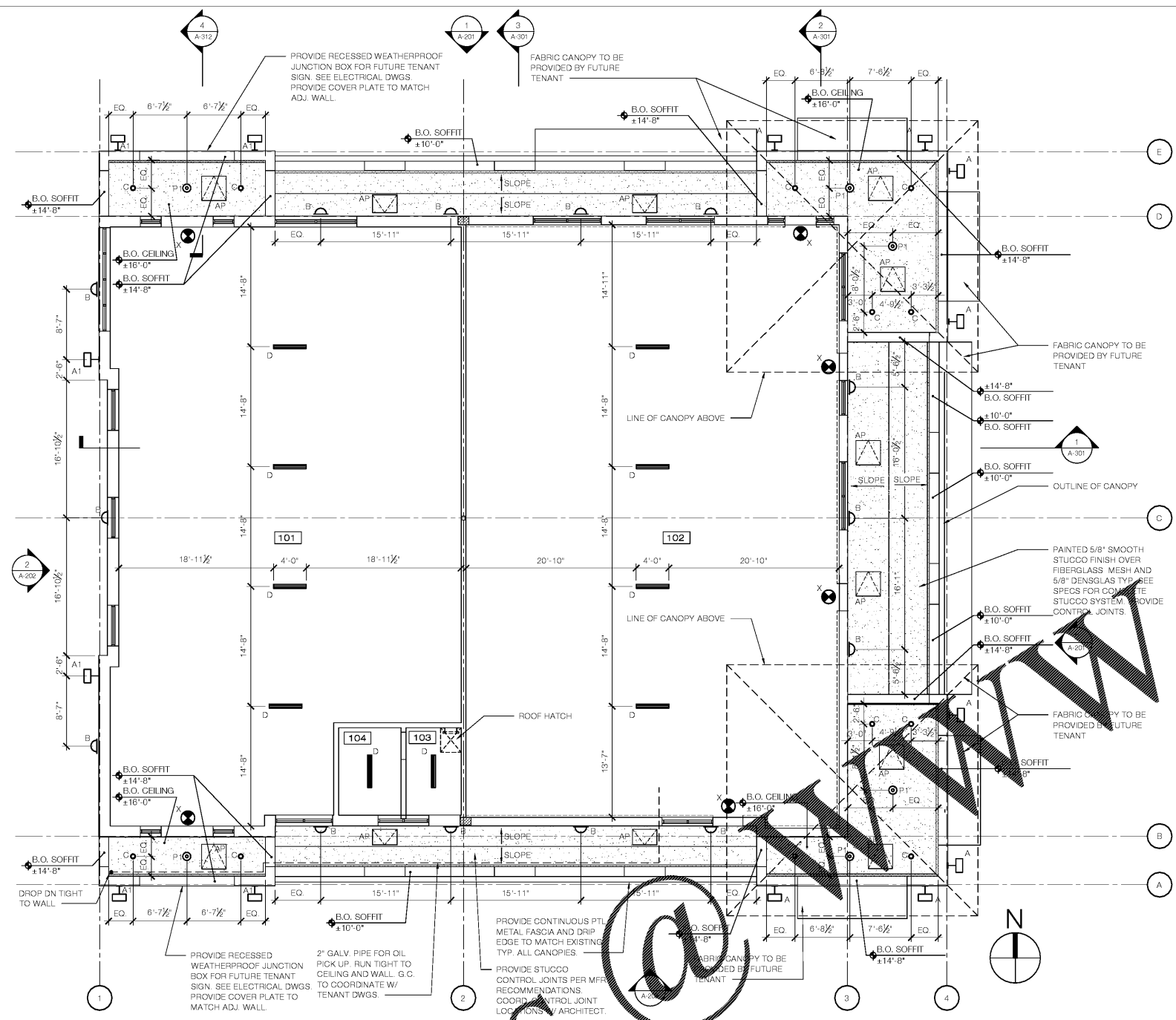
Consultants
 Civil
Langan Engineering

Structural
Bliss & Nytray, Inc.
 Electrical/Mechanical/Plumbing
B&K Engineering Group

Revisions/Issues
 06/21/18 PERMIT SET



Seal



1 GROUND FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

2 DUMPSTER ENCLOSURE PARTIAL PLAN
 SCALE: 1/8" = 1'-0"

- IN THE EVENT THAT CONFLICT OCCURS BETWEEN THIS REFLECTED CEILING PLAN AND MECHANICAL OR ELECTRICAL DRAWINGS REGARDING LOCATIONS OF LIGHT FIXTURES, GRILLES, AND OTHER DEVICES, THIS DRAWING SHALL TAKE PRECEDENCE OVER ALL OTHERS. G.C. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SUCH CONFLICTS.
- CEILING HEIGHTS SHALL BE AS NOTED ON THIS PLAN.
- PROVIDE UNINSTRUCTED TRAPEZE TYPE HANGER AS REQUIRED FOR ALL LIGHT FIXTURES. TYPICAL U.O.N. CEILING TRAPEZE TYPE ASSEMBLY HEIGHT TO ALIGN WITH ADJACENT CEILING HEIGHT AT SIMILAR FIXTURES. WHERE THERE IS NO LIGHTING.
- SEE ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE. NOTED ON THIS SHEET FOR REFERENCE ONLY.
- ALL NEW PENETRATIONS REQUIRED TO EXTERIOR ENVELOPE OF BUILDING STRUCTURE. WITH NO EXCEPTIONS, COMPLY WITH FIRE RATING REQUIREMENTS TYP.
- COORDINATE EXACT SIZE & LOCATION OF ACCESS PANELS DOWN WITH CEILING FRAMING, MEP FIXTURES, AND ALL SERVICE EQUIPMENT. PROVIDE AS REQUIRED.
- ALL ACCESS PANELS SHALL HAVE ACCESS PANELS, AND LOCK PUSH PANEL WITH ADJACENT CEILING ELEVATION. EXPOSED FRAME AND PANEL FINISH TO MATCH ADJACENT SURFACE DECOR U.O.N. FINAL LOCATION/SIZE TO BE COORDINATED WITH SERVICE EQUIPMENT AND REQUIREMENTS TYP.
- PROVIDE ACCESS PANELS WHERE REQUIRED BY CONTRACTOR RESPONSIBLE TO INCLUDE IN BID BILL OF MATERIALS.

LEGEND		
SYMBOL	DESCRIPTION	REMARKS
A	DECORATIVE EXTERIOR WALL SCONCE TO MATCH EXISTING SHOPPING CENTER	MTD @ 7'-10" A.F.F.
A1	DECORATIVE EXTERIOR WALL SCONCE TO MATCH EXISTING SHOPPING CENTER	MTD @ 8'-10" A.F.F.
B	EXTERIOR LIGHT FIXTURE	MTD @ 12'-6" A.F.F.
C	6" ROUND RECESSED EXTERIOR LIGHT FIXTURE	
D	4" LENSED STRIP LIGHT	
P1	DECORATIVE PENDANT LIGHT	B.O. FIXTURE MTD @ 11'-0" A.F.F.
AP	30" x 30" HINGE ACCESS HATCH PANEL W/ LOCK & VENER TO MATCH UNDER CANOPY FINISH. PROVIDED AND INSTALLED BY G.C. LOCATIONS IN FIELD TBD.	
□	3" CONTINUOUS VENT WITH METAL SCREEN PAINT FINISH MATERIAL (PRE-FINISH FROM FACTORY DO NOT FIELD PAINT SCREEN OR FRAME)	
⊗	EXIT SIGN	

NOTE:
 1. REFERENCE ENGINEERING DWG'S FOR ADDITIONAL INFORMATION, QUANTITIES, AND SPECS.
 2. NO WHITE FIXTURES ALLOWED. FINISH AND COLOR TO MATCH EXISTING SHOPPING CENTER.
 3. PROVIDE BATTERY BACK UP @ ALL LIGHT FIXTURES BY EXIT DOORS, RAMP & UNDER CANOPIES LEADING TO EXIT OPENINGS BY G.C. REF. ENGINEERING DWGS. FOR ADDITIONAL LOCATIONS.

- FIRE SPRINKLER LINE GENERAL NOTES:**
- RUN MAIN LINE INSIDE BUILDING.
 - PROVIDE RUST RESISTANT, ALUM. OR S.S. RECESSED HEADS AND EXPOSED HARDWARE.

- TYPICAL METAL FRAMING NOTE:**
- FOR UNDER CANOPY, CANOPIES AND FACADES:
- PROVIDE ENGINEERING SHOP DRAWINGS, & SPECS FOR ALL LITE GAUGE METAL FRAMING, TO INCLUDE FASTENERS, ANCHORS, AND ALL REQUIRED TO PROVIDE FULL ASSEMBLY. REFERENCE STRUCTURAL DWGS FOR PRESSURES & ADD'L INFORMATION.
 - PROVIDED AND INSTALLED BY CONTRACTOR.
 - PROVIDE PRE-ENGINEER SHOP DWG'S FOR REVIEW AND APPROVAL. PROVIDE MIN. 10 DAYS FOR FULL REVIEW.
 - VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING ANY WORK.

- NOTE FOR CONTRACTOR & REVIEWER**
- REFERENCE ENGINEERING PLANS FOR LIGHTING & EXIT LIGHTS WITHIN SHELL.
 - EXT. LIGHTS BY DOORS & EXIT RAMPS TO BE PROVIDED w/ BATTERY BACK UPS.

- GENERAL NOTES:**
- ENTIRE BUILDING SHALL BE FIRE-SPRINKLERED IN ACCORDANCE WITH NFPA-13, INCLUDING OUTDOOR CANOPIES ALONG OUTDOOR SEATING. GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION OF SPRINKLER HEADS WITH FINISH CEILING & LIGHT FIXTURES.
 - IN THE EVENT THAT A CONFLICT OCCURS BETWEEN THIS LIGHTING PLAN AND ELECTRICAL DRAWINGS, REGARDING THE EXACT LOCATION OF LIGHT FIXTURES AND OTHER DEVICES, THIS DRAWING SHALL GOVERN. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SUCH CONFLICTS FOR COORDINATION & DIRECTION.
 - HEIGHTS SHALL BE AS NOTED ON THIS PLAN.
 - SEE ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE.
 - SPRINKLER HEAD COVERS SHALL MATCH CEILING COLOR. SUBMIT SPRINKLER HEAD COVERS MATCHING COLOR SAMPLES FOR APPROVAL. PROVIDE PAINT FACTORY FINISH. DO NOT PAINT IN FIELD.
 - ALL PENETRATIONS NECESSARY TO EXTERIOR ENVELOPE OF BUILDING STRUCTURE SHALL BE BY G.C. NO EXCEPTIONS. ALL PENETRATIONS SHALL BE WATERPROOF & RODENT PROOF.
 - PROVIDE ENGINEERING SHOP DRAWINGS FOR REVIEW AND APPROVAL FOR THE METAL ROOF CANOPY.
 - ALL LIGHT FIXTURES TO BE CENTERED ON THE CEILING U.O.N.
 - G.C. TO COORDINATE W/ METRO DINER TENANT DWGS. ADDITIONAL EXTERIOR LIGHTS, CEILING FANS, ETC.

3 CEILING NOTES & LEGEND
 SCALE: NTS

James L. Cohen AR0015903
 Project Title
SOUTHERN PALM CROSSING
 BUILDING SHELL
 11001-11161 Southern Blvd.
 Royal Palm Beach, FL 33411

Job Number **017512.00**
 Drawing
REFLECTED CEILING PLAN
 Scale **AS SHOWN**
 Drawing Date **06/21/18**

Drawing No.

A-111

Sheet Of