

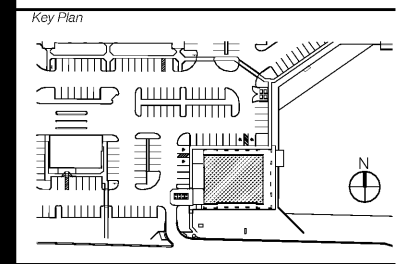
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Revisions/Issues  
 06/21/18 PERMIT SET

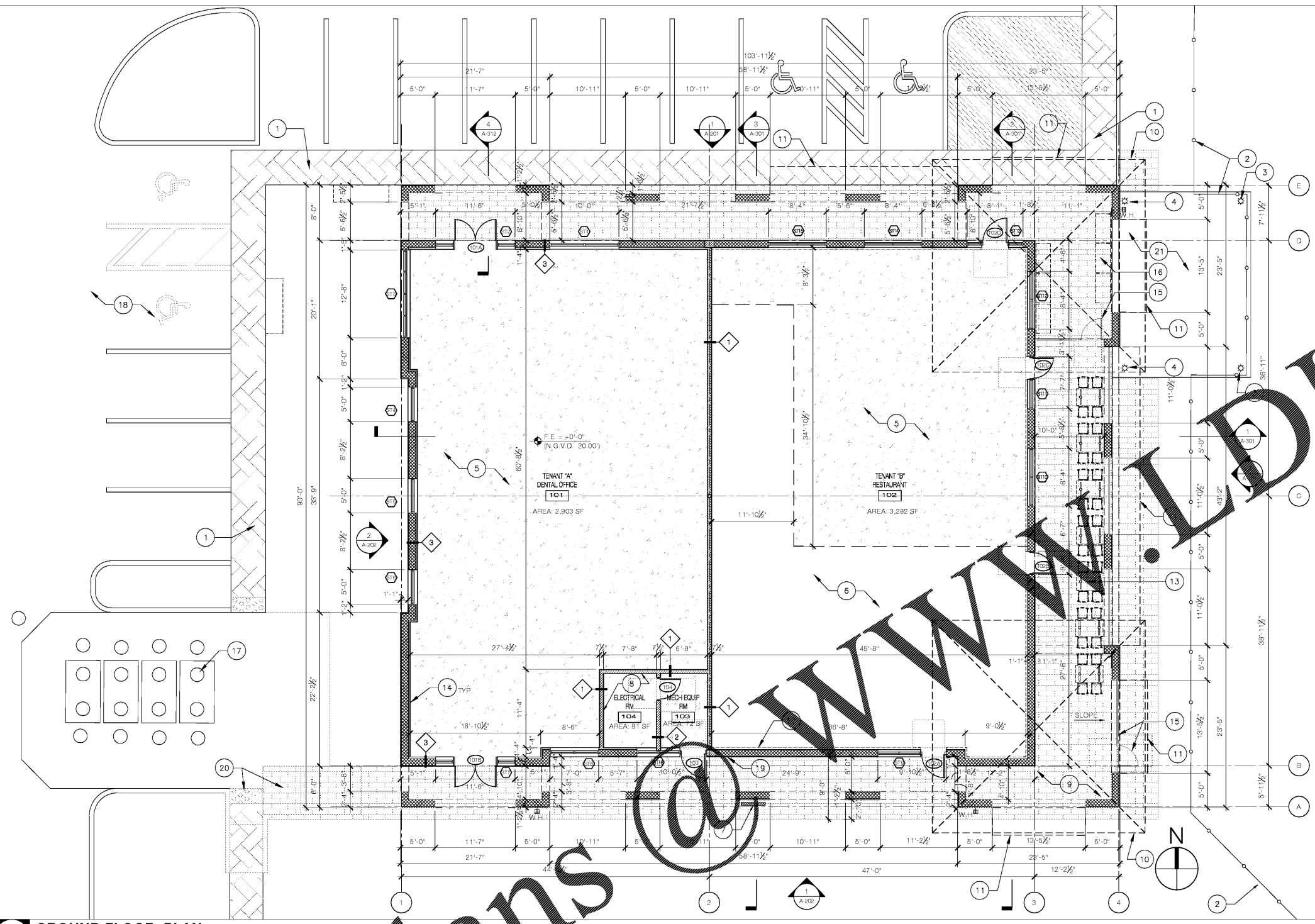


Key Plan

James L. Cohen AR0015903  
 Project Title  
**SOUTHERN PALM CROSSING**  
 BUILDING SHELL  
 11001-11161 Southern Blvd.  
 Royal Palm Beach, FL 33411

Job Number **017512.00**  
 Drawing  
**GROUND FLOOR PLAN**  
 Scale **AS SHOWN**  
 Drawing Date **06/21/18**

Drawing No.



**1 GROUND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**LEGEND:**

- DOOR TAG (SEE A-601 FOR SCHEDULE)
- WINDOW TAG (SEE A-602 FOR SCHEDULE)
- NEW MASONRY WALLS
- LANDSCAPE PLANTER
- CONC. COLUMN. REFER TO STRUCTURAL PLANS
- WALL HYDRANT REFER TO PLUMBING PLANS
- NON-FIXED TABLES SHOWN FOR REFERENCE ONLY. SEE MECHANICAL PLANS FOR FURNITURE.
- BOLLARDS

**GENERAL FLOOR PLAN NOTES:**

- G.C. IS RESPONSIBLE TO FINISH, PREP, OR PAINT ALL WALLS TO BOTTOM OF DECK. NO EXCEPTIONS - INCLUDE IN BID.
- CONTRACTOR TO PROVIDE ENCLOSURE FOR ALL CONDUITS AND PIPING EXPOSED.
- TENANT INTERIOR WALLS SHALL BE TAPED AND FINISHED, READY TO RECEIVE PAINT.

**GENERAL NOTES:**

**FIRE ALARM & ANNUNCIATOR NOTE:**  
 FINAL LOCATION FIRE ALARM DEVICES INCLUDING BUT NOT LIMITED TO PANEL AND ANNUNCIATOR TO BE CONFIRMED WITH FIRE DEPARTMENT & ENG. DRAWINGS, PROVIDED AND INSTALLED BY G.C. (INCLUDE IN BID).

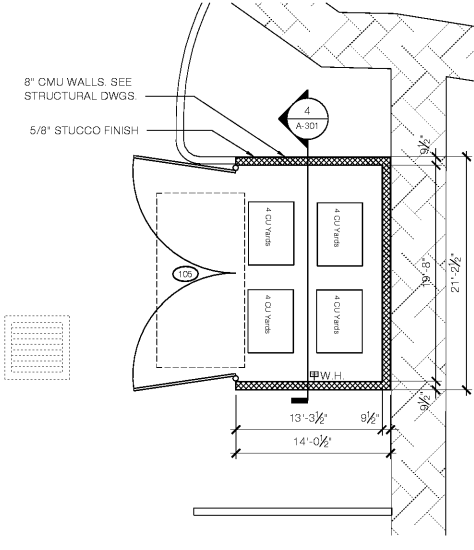
**GENERAL NOTES:**

- CONTRACTOR MUST PROVIDE ANCHOR DETAILS, SPECS, SHOP DRAWINGS AND CALCULATIONS BY LOCAL STRUCTURAL ENGINEER FOR APPROVAL AND FULL SUBMITTAL TO BUILDING DEPT. TYPICAL FOR ALL EQUIPMENT INCLUDING BUT NOT LIMITED TO ROOF TOP UNITS. ALL TO COMPLY WITH HIGH VELOCITY ZONE REQUIREMENTS.
- SEE REFLECTED CEILING PLAN FOR SOFFIT AND DROPPED BEAM DETAILS.
- ALL MECHANICAL UNIT CONDENSATE LINES BY CONTRACTOR. SUBMIT AS BUILDS.
- ALL NEW PENETRATIONS REQUIRED TO EXTERIOR ENVELOPE OF BUILDING STRUCTURE BY G.C. NO EXCEPTIONS.
- NEW CONCRETE SLAB WHERE NOTED MIN. 5" OVER MINIMUM 10 MIL VAPOR BARRIER. REF. STRUCTURAL DWGS FOR ADDITIONAL INFORMATION AND CONTROL JOINT LOCATION.
- SLOPE ALL EXTERIOR WALKWAYS FROM WALLS.
- PROVIDE LEVEL TRANSITION, NO EXCEPTIONS.
- EXTERIOR EXPOSED CONCRETE FLOORS SHALL RECEIVE A NON-SLIP BROOM FINISH.
- PROVIDE POLYETHYLENE MEMBRANE FOR ALL SLABS ON GRADE (MIN. 10 MIL VISQUEEN REQUIRED).
- SLABS ON GRADE TO HAVE 1/2" EXPANSION JOINT MATERIAL AROUND COLUMNS AND BLOCK WALLS.
- CONSTRUCTION JOINTS IN GROUND FLOOR SLAB SHALL BE SAW CUT AS SOON AS PRACTICABLE, BUT NO LATER THAN 12 HOURS AFTER CONCRETE HAS BEEN POURED AND SHALL BE 1/4" BY MIN. 2" SLAB DEPTH. REFERENCE STRUCTURAL PLANS AND SPECS FOR INSTRUCTION AND DETAILS.
- PROVIDE CONTROL JOINTS AS REQUIRED (TYPICAL).
- CONTRACTOR IS RESPONSIBLE TO PROVIDE MIN. 8" THICKENED EDGE @ ALL EXPOSED SLABS OR WALKWAYS, NO EXCEPTIONS.
- PROVIDE PERMANENT W.P. EXTERIOR SIGN @ THE FOLLOWING LOCATIONS:  
 A FIRE SPRINKLER ROOM  
 B EXIT DOORS @ BACK OF HOUSE
- ALL SEALANT, CAULK OR RELATED MATERIALS WITH MIN. 25 YEARS WARRANTY (NO EXCEPTIONS)

**KEY NOTES:**

- EXISTING CONCRETE PAVER WALKWAY TO REMAIN.
- EXISTING FENCE TO REMAIN.
- EXISTING LIGHT POLES TO REMAIN.
- EXISTING EXTERIOR LIGHT AND LIGHT POLE TO BE REMOVED AND RETURNED TO OWNER. COORDINATE W/ ELEC. DWGS.
- CONCRETE SLAB ON GRADE OVER 10 MIL VAPOR BARRIER. SEE STRUCTURAL DWGS. PROVIDE CONTROL JOINTS 12'-0" O.C. EACH DIRECTION. CONCRETE FLOOR SLAB SHALL NOT HAVE A MOISTURE CONTENT ABOVE (4) POUNDS BASED ON A CALCIUM CHLORIDE TEST. READY FOR FLOORING.
- SLAB LEAVE OUT AREA TO BE COORDINATED W/ TENANT DWGS.
- GAS METER. SEE MEP DWGS.
- PROVIDE 3/4" MARINE GRADE F.T. PLYWOOD BLOCKING AS REQ'D. COORD. W/ MEP DWGS.
- CONCRETE PAVER SIDEWALK TO MATCH EXISTING. SLOPE AWAY FROM BUILDING.
- LINE OF CANOPY ABOVE.
- LINE OF FABRIC AWNING BY TENANT.
- INDICATE FUTURE INSULATED FURRING WALL BY TENANT.
- FUTURE EXTERIOR SEATING AREA.
- 12" CMU WALL. SEE STRUCTURAL DWGS.
- 36" HIGH RAILING AND GATE BY TENANT.
- EXTERIOR BENCHES BY TENANT.
- EXISTING GREASE TRAPS TO REMAIN.
- RECONFIGURED PARKING SPACES, SEE CIVIL DWGS.
- PROVIDE KNOX BOX. COORDINATE FINAL LOCATION WITH FIRE MARSHALL.
- PEDESTRIAN RAMP AND CURB SHOWN RECONFIGURED. SEE CIVIL DWGS.
- EXISTING CONCRETE PAD TO REMAIN. PATCH AS REQUIRED.

**2 TRASH ENCLOSURE PARTIAL PLAN**  
 SCALE: 1/8" = 1'-0"



**3 NOTES AND LEGEND**  
 SCALE: 1/8" = 1'-0"

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