

OVERALL SITE AREA ANALYSIS		
	ORIGINAL OVERALL SITE PLAN	PROPOSED OVERALL SITE PLAN
A. PARENT TRACT (GROSS SITE AREA):	2,328,303.76 SF 53.45 ACRES	2,328,303.76 SF 53.45 ACRES
B. LESS DEDICATED RIGHT OF WAY:	134,209.64 SF 3.08 ACRES	134,209.64 SF 3.08 ACRES
C. NET REMAINING SITE AREA:	2,194,094.12 SF 50.37 ACRES	2,194,094.12 SF 50.37 ACRES
D. TYPE OF USE	RETAIL, RESTAURANT, BANK	RETAIL, RESTAURANT, BANK
E. FLOOR AREA RATIO	348,755 SF / 2,194,094.12 = 0.159	348,357 SF / 2,194,094.12 = 0.158
F. IMPERVIOUS AREA		
1. BUILDING FOOTPRINT:	348,195.00 SF 15.87%	347,796.43 SF 15.85%
2. SIDEWALKS:	86,934.58 SF 3.96%	90,048.58 SF 4.10%
3. VEHICULAR USE AREA (NOT INCLUDING OVERHANG):	932,963.44 SF 42.52%	932,963.44 SF 42.52%
4. TOTAL IMPERVIOUS AREA:	1,368,093.02 SF 62.35%	1,370,808.45 SF 62.48%
G. PERVIOUS AREA		
1. VEHICLE OVERHANG	15,400.00 SF 0.70%	15,400.00 SF 0.70%
2. LANDSCAPE	491,040.16 SF 22.38%	487,705.16 SF 22.23%
3. RETENTION LAKE AREA	319,001.00 SF 14.54%	319,001.00 SF 14.54%
4. TOTAL PERVIOUS AREA:	825,441.16 SF 37.62%	822,106.16 SF 37.47%
H. MAXIMUM EXPECTED BUILDING HEIGHT	1 STORY, +/- 40'-0" TO MAIN ROOF	1 STORY, +/- 40'-0" TO MAIN ROOF
LAND USE DESIGNATION:	COMMERCIAL	COMMERCIAL
ZONED:	GENERAL COMMERCIAL	GENERAL COMMERCIAL

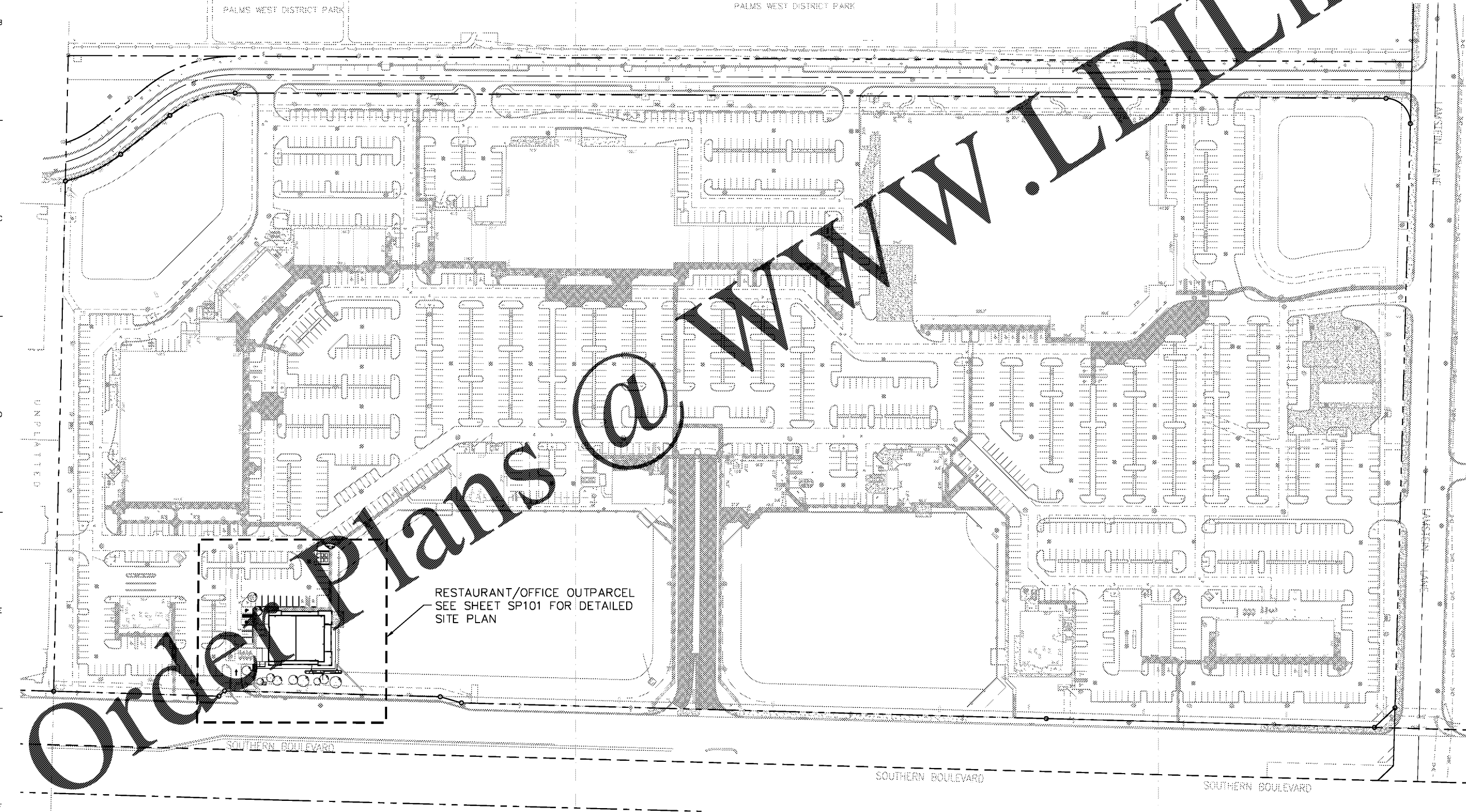
ORIGINAL BUILDING / PARKING INFORMATION		
BUILDING / TYPE:	AREA	PARKING ANALYSIS
ANCHORS:		
PRIMARY RETAIL ANCHOR "A"	145,369.16 SF	@ 1 SPACE / 200 SQ.FT. = 726.85 SPACES
RETAIL ANCHOR "B"	55,671.02 SF	@ 1 SPACE / 200 SQ.FT. = 278.36 SPACES
RETAIL ANCHOR "C"	36,000.00 SF	@ 1 SPACE / 200 SQ.FT. = 180.00 SPACES
SUB-TOTAL	237,040.18 SF	@ 1 SPACE / 200 SQ.FT. = 1,185.20 SPACES
MISCELLANEOUS		
RESTAURANTS	36,905.55 SF	@ 1 SPACE / 200 SQ.FT. = 184.53 SPACES
BANKS	8,101.57 SF	@ 1 SPACE / 200 SQ.FT. = 40.51 SPACES
LOCAL SHOPS	66,147.70 SF	@ 1 SPACE / 200 SQ.FT. = 330.74 SPACES
SUB-TOTAL	111,154.82 SF	@ 1 SPACE / 200 SQ.FT. = 555.77 SPACES
TOTAL BUILDING AREA	348,195.00 SF	SUB-TOTAL REQUIRED PARKING 1,740.98 SPACES
*DECKS - OUTSIDE DINING	10,000.00 SF	@ 1 SPACE / 200 SQ.FT. = 50.00 SPACES
		TOTAL REQUIRED PARKING 1,791.0 SPACES
		TOTAL PROVIDED PARKING 1,765.0 SPACES
		PARKING VARIANCE REQUESTED: 26 SPACES
		ACCESSIBLE PARKING SPACES REQUIRED = 27.90 SPACES
		ACCESSIBLE PARKING SPACES PROVIDED = 40 SPACES

PROPOSED BUILDING / PARKING INFORMATION		
BUILDING / TYPE:	AREA	PARKING ANALYSIS
ANCHORS:		
PRIMARY RETAIL ANCHOR "A"	145,369.16 SF	@ 1 SPACE / 200 SQ.FT. = 726.85 SPACES
RETAIL ANCHOR "B"	55,671.02 SF	@ 1 SPACE / 200 SQ.FT. = 278.36 SPACES
RETAIL ANCHOR "C"	36,000.00 SF	@ 1 SPACE / 200 SQ.FT. = 180.00 SPACES
SUB-TOTAL	237,040.18 SF	@ 1 SPACE / 200 SQ.FT. = 1,185.20 SPACES
MISCELLANEOUS		
RESTAURANTS	33,182.98 SF	@ 1 SPACE / 200 SQ.FT. = 165.91 SPACES
BANKS	8,101.57 SF	@ 1 SPACE / 200 SQ.FT. = 40.51 SPACES
DENTAL	3,324.00 SF	@ 1 SPACE / 200 SQ.FT. = 16.62 SPACES
LOCAL SHOPS	66,147.70 SF	@ 1 SPACE / 200 SQ.FT. = 330.74 SPACES
SUB-TOTAL	110,756.25 SF	@ 1 SPACE / 200 SQ.FT. = 553.78 SPACES
TOTAL BUILDING AREA	347,796.43 SF	SUB-TOTAL REQUIRED PARKING 1,738.98 SPACES
*DECKS - OUTSIDE DINING	10,000.00 SF	@ 1 SPACE / 200 SQ.FT. = 50.00 SPACES
		TOTAL REQUIRED PARKING 1,789.0 SPACES
		TOTAL PROVIDED PARKING 1,763.0 SPACES
		ORIGINAL APPROVED VARIANCE 26 SPACES
		TOTAL PROVIDED & VARIANCE PARKING SURPLUS / DEFICIT 1,789.0 SPACES
		ACCESSIBLE PARKING SPACES REQUIRED = 27.88 SPACES
		ACCESSIBLE PARKING SPACES PROVIDED = 42 SPACES

OUTSIDE SEATING AREA ANALYSIS			
No.	BUILDING	TENANT	AREA (SF)
1	LOCAL SHOPS 'D'	MASSAGE ENVY SPA	285.57
2	LOCAL SHOPS 'B'	SHANE'S	395.73
3	LOCAL SHOPS 'B'	NAYLAH	244.33
4	LOCAL SHOPS 'A'	FOSTER'S	318.56
5	LOCAL SHOPS 'A'	RITA'S	45.51
6	LOCAL SHOPS 'A'	CREPE MAKER	45.51
7	LOCAL SHOPS 'A'	SPICY THAI	91.04
8	LOCAL SHOPS 'A'	HURRICANE GRILL	366.00
9	RESTAURANT NO.1	This Application (Metro Dinner)	688.00
10	RESTAURANT NO.2	CARRABBA'S	1,091.37
11	RESTAURANT NO.3	PANERA BREAD	1,766.20
12	RESTAURANT NO.4	On the Border	1,160.83
13	RESTAURANT NO.5	MAX & ERMA'S	493.34
14	RESTAURANT NO.6	OUTBACK	499.71
15	LOCAL SHOPS 'B'	JAMBA JUICE	158.64
16	LOCAL SHOPS 'E'	NESTLE	15.62
17	LOCAL SHOPS 'E'	STARBUCKS	15.62
TOTAL			9,179.00
PREVIOUSLY PLANNED OUTDOOR SEATING			10,000.00
TOTAL OUTSIDE SEATING AREA AVAILABLE			824.74

RETENTION LAKE AREAS		
LAKE IDENTIFICATION	AREA IN SQ. FT.	AREA IN ACRES
LAKE #1	11,121	0.94
LAKE #2	1,120	0.77
LAKE #3	12,000	2.98
LAKE #4	114,000	2.63
TOTAL	319,151	7.32

- NOTES:
- THE BASE MAP INFORMATION FROM THE OVERALL SITE WAS REFERENCED FROM THE PREVIOUSLY APPROVED SITE PLAN PREPARED BY ZIMMER AIA APPROVED BY THE VILLAGE OF ROYAL PALM BEACH ON 14 JULY 2010.
  - THE TABULAR INFORMATION SHOWN ON THIS PLAN WAS MODIFIED PER THE PROPOSED 6,852 SF OUT PARCEL PREVIOUSLY KNOWN AS RESTAURANT NO. 1.
  - BASE MAP INFORMATION REFERENCED FROM BOUNDARY SURVEY PREPARED BY ARCADIS LAST REVISED 4 JANUARY 2016.
  - ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON NATIONAL GEODATIC VERTICAL DATUM OF 1929, (N.G.V.D), UNLESS OTHERWISE NOTED.



Date	Description	No.
REVISIONS		
SIGNATURE		DATE SIGNED
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Langan Engineering and Environmental Services, Inc.		
Langan CT, Inc.		
Langan International LLC		
Collectively known as Langan		
FL CERTIFICATE OF AUTHORIZATION No. 0008801		
Project		
<b>SOUTHERN PALM CROSSING</b>		
VILLAGE OF ROYAL PALM BEACH		
PALM BEACH FLORIDA		
Drawing Title		
<b>OVERALL SITE PLAN</b>		
Project No.	Drawing No.	
330025601	SP100	
Date	2017-09-25	
Scale	1" = 80'	
Drawn By	Checked By	
ARK	MC	

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SUBMISSION DATE: 05/29/2018 PROJECT NO. 330025601