

# SOUTHERN PALM CROSSING

11001-11161 Southern Blvd.  
Royal Palm Beach, FL 33411

"BUILDING SHELL"

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## SCOPE OF WORK

CIVIL / SITE:  
PAVING, DRAINAGE, UTILITIES, LANDSCAPE, IRRIGATION, ETC.  
REF: CIVIL ENGINEERING PLANS FOR COMPLETE SCOPE.

ARCHITECTURE:  
THE SCOPE INCLUDES A 8,653 SF BUILDING. BUILDING SHELL TO INCLUDE EXTERIOR FINISHES, STOREFRONT, EXTERIOR DOORS, CANOPIES, ROOF ASSEMBLY, SIDEWALKS, PLANTERS, INTERIOR PARTITIONS, STRUCTURE, AND MEP AS DESCRIBED ON THESE DOCUMENTS. G.C. TO APPLY FOR PERMITS, AND TO SUBMIT SHOP DRAWINGS, AND PRODUCT SPECIFICATIONS AS REQUIRED BY LOCAL MUNICIPALITY.

MECHANICAL & PLUMBING:  
BUILDING SHELL. SCOPE OF WORK TO INCLUDE THE EXTENSION OF UTILITIES TO EVERY TENANT SPACE AND FIRE SPRINKLER PROTECTION. ALL EQUIPMENT AND SYSTEMS AS INDICATED ON THESE DOCUMENTS. REFER TO ENGINEERING PLANS.

ELECTRICAL:  
BUILDING SHELL. CONNECTIONS TO UTILITIES, INSTALLATION OF CONDUITS AND WIRES TO HOUSE PANEL, FIRE ALARM, ETC. EXTERIOR LIGHTING MOUNTED ON THE BUILDING AND INTERIOR LIGHTING AND POWER, ALL EQUIPMENT AND SYSTEMS AS INDICATED ON THESE DOCUMENTS. REFERENCE ENGINEERING PLANS.

STRUCTURE:  
BUILDING SHELL. FOUNDATION, STRUCTURE OF BUILDING ENVELOPE, STOREFRONT, ROOF, CANOPIES, ETC. REFERENCE STRUCTURAL PLANS FOR COMPLETE SCOPE.

## BUILDING DATA

RAIN WATER LEADERS AND ROOF DRAINS:  
PER TABLE 1108.2 OF THE F.B.C.P. - A SINGLE 4"x12" RAIN WATER LEADER AT A RAINFALL RATE OF 4.5 INCHES PER HOUR COVERS A MAXIMUM AREA OF 5,862.22 SQ. FT. OF ROOF AREA.

ROOF AREA = 7,333.21 SQ. FT.  
PARAPET AREA = 871.48 SQ. FT.  
TOTAL ROOF AREA = 8,204.67 SQ. FT.

PROVIDED DRAINAGE: (2) 8" x 12" SCUPPERS 11,064.44 SQ. FT.  
(2) 8" x 12" OVERFLOW SCUPPER INSTALLED 2' ABOVE ROOF LEVEL.

NOTE: SIGNED & SEALED PRODUCT APPROVALS FOR ROOF, WINDOWS, STOREFRONT AND DOORS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION OF SUCH.

### APPLICABLE BUILDING CODE

FLORIDA BUILDING CODE FBC 2017 EDITION  
FLORIDA FIRE PREVENTION CODE 2017 EDITION

### TYPE OF CONSTRUCTION

TYPE II B - FULLY SPRINKLERED BUILDING

### OCCUPANCY CLASSIFICATION

BUSINESS = 3,326 S.F.  
ASSEMBLY OR SEATING AREA = 5,327 S.F.  
TOTAL BUILDING AREA = 8,653 S.F.

### FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

FOLLOW F.B.C. 2017 TABLE 801 FOR FIRE RESISTANCE RATING REQUIREMENTS. ALL EXTERIOR BEARING WALLS MIN. 0 HR. ROOF CONSTRUCTION AND ASSOCIATED MEMBERS SECONDARY MEMBERS MIN. 0.15 HR. SEPARATION OF OCCUPANCIES F.F.C. 2017 TABLE 806.4

ASSEMBLY / BUSINESS SEPARATION 1 HR REQUIRED \* THE MIN. FIRE RESISTANCE RATING IS PERMITTED TO BE REDUCED BY 1 HR BUT IN NO CASE TO LESS THAN 1 HR WHERE THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM. 1 HR RATED SEPARATION PROVIDED.

### COMMON PATH OF EGRESS TRAVEL - F.B.C. 1008.2.1

THE LENGTH OF A COMMON PATH OF EGRESS TRAVEL FOR GROUP "A" SHALL NOT BE MORE THAN 75 FT AND 100 FT FOR GROUP "B"; PROVIDED THAT THE BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SEC. 903.9.

### EXIT ACCESS TRAVEL DISTANCE - TABLE 1017.2

OCCUPANCY TRAVEL DISTANCE WITH SPRINKLER SYSTEM PROTECTED & FIRE RESISTANCE SYSTEM

GROUP A 75 FT

GROUP B 100 FT

### CORRIDOR FIRE RESISTANCE RATING - TABLE 1020.1

GROUP "A", "B" WITH SPRINKLER SYSTEM REQUIRED THE RATING IS 0

MAX. DEAD END CORRIDOR LENGTH - GROUP "A" 20' FOR GROUP "A" AND 50' FOR GROUP "B" AS PER 1020.4

MIN. CLEARING OF EXIT - GROUP "A" 32" AS PER 1010.1.1

### FRAME SPREAD CLASSIFICATION - TABLE 1023.1

SPRINKLERED

GROUP: VERTICAL EXIT AND EXIT PASSAGEWAYS AND OTHER EXIT WAYS ROOM AND ENCLOSED SPACES

'A' B C C

'B' B C C

'C' B C C

ZONING: 3 - GENERAL COMMERCIAL

PLANE LEVEL: 20.00 N.G.V.D.

PROPOSED BUILDING HEIGHT: 32.00'

### NOTES:

- APPROVED AND STAMPED SHOP DRAWINGS FOR STOREFRONT AND GLAZING SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION OF SUCH - IN ADDITIONAL ALL PRODUCT APPROVALS WILL BE REVIEWED AND APPROVED BY THE ARCHITECT / ENGINEER OF RECORD PRIOR TO SUBMITTAL OF SUCH TO THE CITY.
- SPRINKLER SHOP DRAWINGS & HYDRAULIC CALCS SHALL BE PROVIDED AT LATER DATE BY CONTRACTOR, PROVIDED AND INSTALLED BY G.C.

### BUILDING ADDRESS:

PROVIDE APPROVED ADDRESS WITH 6" MINIMUM LETTERS / NUMBERS OF CONTRAST COLOR TO BUILDING BACKGROUND VISIBLE FROM STREET AND AS REQUIRED BY AUTHORITIES.

### BUILDING SIGNAGE:

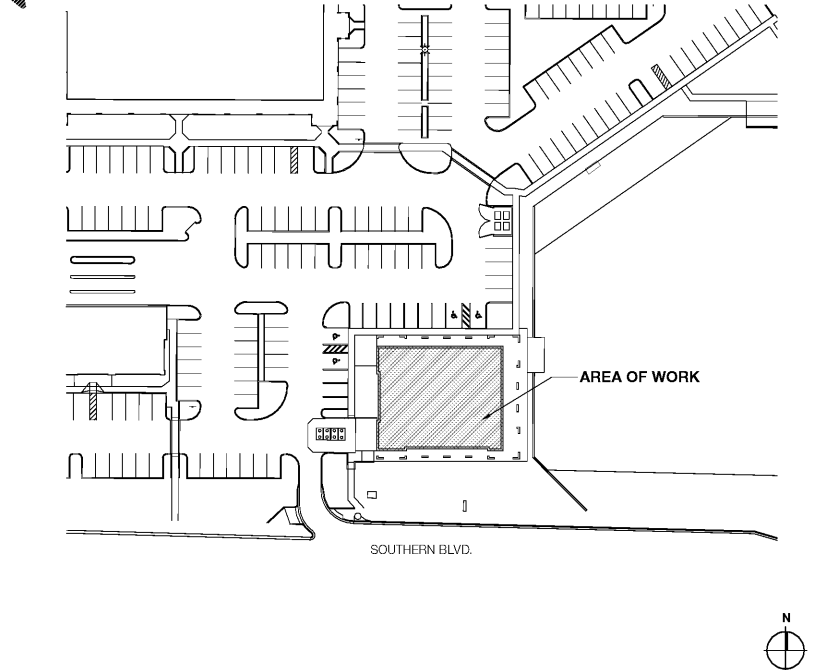
PROVIDE "EXIT" SIGNAGE AT EXIT DOORS OTHER THAN MAIN EXIT WITH AN APPROVED TACTILE EXIT SIGN IN COMPLIANCE WITH ANSI A117.1

- SEE ADDITIONAL CODE INFORMATION ON LS-101 LIFE SAFETY PLAN

## LOCATION MAP SCALE: N.T.S.



## KEY SITE PLAN SCALE: N.T.S.



# SBLM

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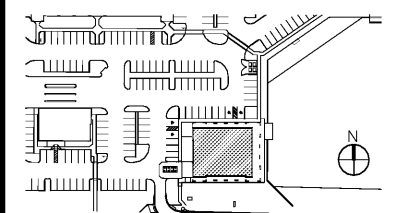
## Structural

**Bliss & Nyitray, Inc.**  
Electrical/Mechanical/Plumbing  
**B&K Engineering Group**

## Revisions/Issues

06/21/18 PERMIT SET

## Key Plan



## Seal

James L. Cohen AR0015903

## Project Title

**SOUTHERN PALM CROSSING**  
BUILDING SHELL  
11001-11161 Southern Blvd.  
Royal Palm Beach, FL 33411

Job Number 017512.00

## Drawing

**COVER SHEET**

Scale AS SHOWN

Drawing Date 06/21/18

Drawing No.

# A-000

Sheet

Of



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## NOTE FOR CONTRACTORS AND SUBCONTRACTORS:

- PRODUCT CONTROL APPROVAL ARE TO BE SIGNED "FOR APPROVAL ONLY" BY THE DESIGNER OF RECORD & CITY APPROVED BEFORE WORK IS STARTED.

## NOTICE TO ALL CONTRACTORS, SUBCONTRACTORS AND BIDDERS:

- READ AND FAMILIARIZE YOURSELF WITH THE SCOPE OF WORK THAT MAY FALL UNDER YOUR CONTRACT. CONTRACTOR'S ARE TO VERIFY AND FAMILIARIZE THEMSELVES WITH THE ENTIRE PROJECT AND INCLUDE ANY ADJUSTMENTS IN THE BID. IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE OPERATING BUILDING. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL EQUIPMENT, MATERIAL, ETC., REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THEY SHALL BE SETTLED BEFORE BID SUBMISSION AND CONTRACT SIGNING. NO EXTRA CHARGE WILL BE ALLOWED.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ARRANGEMENT OF PRE-CONSTRUCTION MEETING WITH ALL TRADES, OWNER / TENANT CLIENT, AND PROJECT MANAGER TO VERIFY AND COORDINATE ALL ITEMS INCLUDING FIXTURE LOCATIONS, AND SPECS. THIS MUST BE DONE PRIOR TO COMMENCING ANY WORK OR ORDERING MATERIAL.
- CONTRACTOR SHOULD PROVIDE PROPOSED SCHEDULE FOR COMPLETION AND TARGET TURN OVER DATE AT PRE-CONSTRUCTION KICK OFF MEETING. COPY OF THIS SCHEDULE SHOULD BE DISTRIBUTED TO ALL TRADES, AND TURN OVER DATES MUST BE AGREED UPON BY ALL PARTIES INVOLVED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AS BUILTS AT THE END OF THE PROJECT.