

WALL TYPES

- A** TYPICAL PARTITION (THRU CEILING): 3-5/8" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER 5/8" TYPE X GYP BD EACH SIDE. EXTEND STUDS TO STRUCTURE ABOVE & BRACE @ 4'-0" OC MAX. EXTEND GYP BD TO 6" MIN ABOVE CLG HT - 2/A5.0
- B** EXISTING PARTITION: EXISTING METAL STUDS AND SUBSTRATE TO REMAIN. G.C. TO PATCH/REPAIR ANY DAMAGE. FOR SUPPORT OF WATER HEATER PLATFORM.
- C** EXISTING LEASEHOLD DEMISING WALL PARTITION: 1 EXISTING LAYER 5/8" TYPE X GYP BD TO STRUCTURE ABOVE ON EXIST STUDS. G.C. TO PATCH AND REPAIR ANY DAMAGED GYP. BD. AND VERIFY TAPE AND SEAL TO STRUCTURE ABOVE TO MAINTAIN INTEGRITY OF 1-HR FIRE RATED ASSEMBLY. REPAIR AS REQ'D TO MAINTAIN ASSEMBLY PER UL.
- D** MENU WALL PARTITION: 4" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER OF CEMENT BACKER BOARD. EXTEND STUDS AND GYP BD TO 6" MIN ABOVE CLG HT - 3/A5.0
- E** EXISTING LEASEHOLD DEMISING WALL PARTITION: 1 EXISTING LAYER 5/8" TYPE X GYP BD TO STRUCTURE ABOVE ON EXIST STUDS. G.C. TO PATCH AND REPAIR ANY DAMAGED GYP. BD. AND VERIFY TAPE AND SEAL TO STRUCTURE ABOVE.

WALL TYPE NOTES

1. STUD GAUGES PER SPECIFICATIONS
2. ALL METAL STUDS MUST BE TESTED BY AN APPROVED TESTING AND LISTING AGENCY (ICC/IBC E) AND THEY MUST BE INSTALLED PER THE LISTING AND MANUFACTURERS INSTALLATION INSTRUCTIONS
3. PROVIDE FIRE RETARDANT WOOD BLOCKING WITHIN PARTITIONS FOR SECURE ANCHORAGE AT THE FOLLOWING LOCATIONS:
WALL MOUNTED SHELVES
SECURITY STRIP @ WATER HEATER

ACCESSORY NOTES

- PROVIDE (OR INSTALL ITEMS FURNISHED BY OTHERS WHEN NOTED) THE FOLLOWING ACCESSORIES WHERE LOCATED HEREIN OR ON THE DRAWINGS:
- SOAP DISPENSER (CFCI)
 - TOWEL DISPENSER (CFCI)
 - WASTE RECEPTACLE (CFCI)
 - FIRE EXTINGUISHER (CFCI)
- CORNER GUARDS: WHERE NOTED ON THE FLOOR PLAN, PROVIDE STAINLESS STEEL 18 GA CORNER GUARDS FROM TOP OF BASE TO 5'-0" AFF. SILICONE SEAL ALL EDGES OF CORNER GUARD TO WALL FINISH SURFACE (CFCI)

GENERAL NOTES

- ALL INTERIOR FINISHES TO BE CLASS 2 OR BETTER
- ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE OF GYPBD, UNLESS OTHERWISE NOTED
- ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISTANT WOOD
- ALL WALL CONSTRUCTION FACING SUPPORT ROOM AREA MUST UTILIZE MOISTURE RESISTANT GYP IN BARS
- PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.
- PROVIDE FRP 5/8" PLYWOOD BLOCKING IN ALL AREAS WHERE THERE IS WALL MOUNTED SHELVE OR EQUIPMENT.
- TENANT GC TO PROVIDE FIRE EXTINGUISHERS AS REQ'D PER APPLICABLE CODES AND SHALL COORDINATE LOCATION WITH FIRE MARSHALL PRIOR TO INSTALLATION
- ALL DOORS TO BE KEYLESS IN DIRECTION OF EMERGENCY EGRESS.
- ALL GYP BD WALLS AND CEILING SHALL BE LEVEL 4 FINISH.

SHEET SYMBOLS

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- LEASE LINE / EXTENT OF WORK
- 5'-0" TURNING RADIUS
- EXISTING DOOR(S) TO REMAIN. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- DOOR NUMBER SEE DOOR SCHEDULE
- ROOM ROOM NAME ROOM NUMBER
- WALL FINISH
- FLOOR FINISH
- BASE FINISH
- SEE A4.0 FOR FINISH SCHEDULE.
- FINISH SCHEDULE SEE SHEET A4.0 FOR FINISH SCHEDULE.
- SECTION NUMBER
- SHEET NUMBER
- DOOR TRANSITION, SEE SCHEDULE, PROVIDE FLUSH TRANSITION AT SIMILAR FLOORING - FEATHER LATEX BED MIN. 36" AS REQUIRED.
- WALL/PARTITION TYPE INDICATOR
- CLEAR FLOOR AREA CLEARANCES, AS REQUIRED BY CODE.
- 5'-0" TURNING RADIUS
- NEW DOOR(S). SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- FIRE EXTINGUISHER
- REVISIONS
- GRID REFERENT
- IDENTIFICATION MARKER
- EQUIPMENT TAG
- DETAIL NUMBER
- SHEET NUMBER

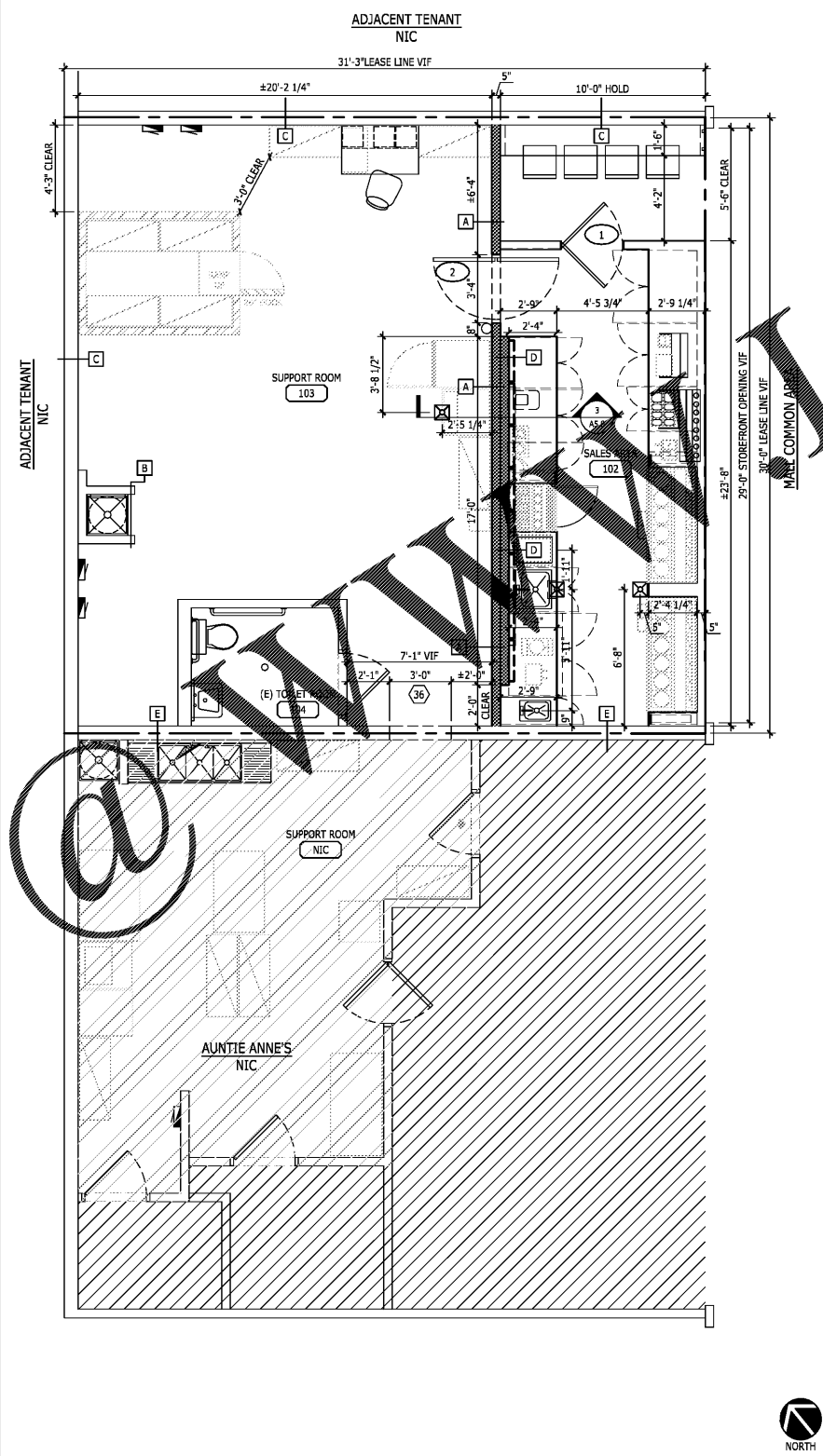
NOTE: NOT ALL SYMBOLS ARE USED

FINISH NOTES

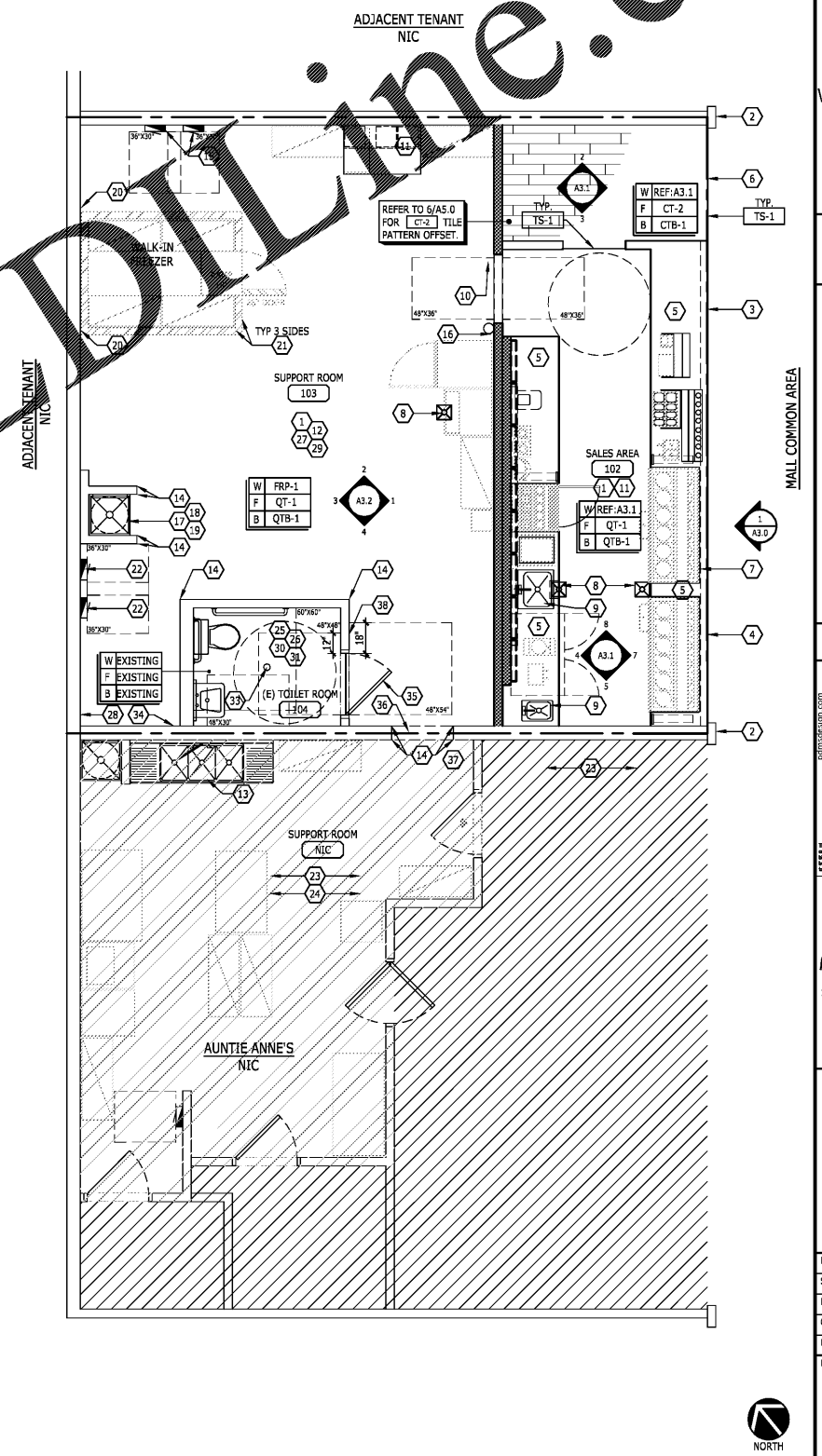
- WALL FINISHES OF PUBLIC AND FRONT EMPLOYEE DIPPING AREA: REFER TO INTERIOR ELEVATIONS, DRAWING A3.1
- CEILING FINISHES: RE: REFLECTED CLG PLAN, DRAWING A2.0
- LIGHTING LAYOUT: RE: REFLECTED CLG PLAN, DRAWING A2.0 AND ELECTRICAL PLAN
- EXTENT OF FLOORING & BASE MATERIAL- EXTEND FLOORING AND BASE MATERIAL COMPLETELY INTO FLOOR RECESSES UNDER ALL FOOD SERVICE EQUIPMENT ITEMS, INCLUDING UNDERCOUNTER REFRIGERATORS OR FREEZER BASES AND DIPPING CABINETS
- BASE AT SALES COUNTER FRONT: BASE AS PER DETAILS AND ELEVATIONS
- TYPICAL SUPPORT ROOM FLOOR FINISH: QUARRY PAVER TILE - THIN SET INSTALLATION OF QUARRY TILE - RE: COLOR AND MATERIAL SCHEDULE
- BASE @ QUARRY FLOOR TILE: STANDARD COVE BASE/RADIUS TOP UNITS TO MATCH FLOOR TILE
- BASE @ WALK IN FREEZER: STANDARD QUARRY COVE BASE AT WALK-IN FREEZER - INSTALL AFTER INSTALLATION OF FREEZER UNIT. SILICONE SEAL AT TOP AND EDGE JUNCTIONS OF TILE TO ALUMINUM FACE OF FREEZER.
- WATERPROOF MEMBRANE: INSTALL WATERPROOF MEMBRANE TO FORM SEAMLESS MEMBRANE OVER ENTIRE FLOOR AREA AND 5" UP WALL. GC TO USE DAL-SEAL TC, VERIFY WITH CENTER AUTHORITY ACCEPTABILITY OF PROPOSED FLOOR MEMBRANE.
- TYPICAL SUPPORT ROOM WALL FINISH: PAINT/FRP-1.
- WALL FINISH @ TOILET ROOMS: EXISTING
- DOUBLE SWING DOOR FRAME(S): PAINTED HM FRAME REFER A4.1.
- DOOR FRAMES: SEMI-GLOSS WHITE PAINT ON ALL SUPPORT ROOM FRAMES

SHEET NOTES

1. G.C. TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OR CONSTRUCTION MANAGER TIM WEST IMMEDIATELY IF ANY CONFLICT ARISE.
2. NEUTRAL PIERS TO REMAIN, G.C. TO PROTECT DURING CONSTRUCTION. VIF, G.C. TO RETURN NEUTRAL PIER FINISH TO THE BACKSIDE OF NEUTRAL PIER. G.C. SHALL GET FINISH SPEC FROM LANDLORD.
3. NEW STOREFRONT FINISHES. REFER 1/A3.1 FOR ADDITIONAL INFORMATION.
4. FRONT LINE MILLWORK HOLD TIGHT TO LEASE LINE. VIF.
5. NEW MILLWORK LOCATION. REFER A1.1 FOR ADDITIONAL INFORMATION.
6. ALUMINUM TRANSITION STRIP, TS-1, FOR CHANGE IN FLOOR TILE FINISH. TRANSITION SHALL MEET ACCESSIBILITY GUIDELINES ACCORDING TO LOCAL JURISDICTION'S APPLICABLE CODE.
7. EXTEND WALL FLOORING TO LINE OF MILLWORK TOE KICK.
8. NEW FLOOR SINK. REFER PLUMBING DWGS.
9. NEW SINK. REFER A1.1 AND PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
10. DOUBLE ACTING SWING DOOR & BRUSHED STAINLESS HM WELDED FRAME. ELIASON #SCP8 - 36" W X 84" H X 3/4" THK SOLID CORE DOUBLE SWING DOOR; LAMINATE TO MATCH PL-2 ON BOTH SIDES, 9" X 30" VISION PANEL, 18" 5/8" KICKPLATES AND PUSH PLATES ON BOTH SIDES & HM DOOR FRAME W/O STOPS. REINFORCE FRAME AT HARDWARE LOCATIONS. (ELIASON: 1-800-828-3655)
11. SECURITY SYSTEM CAMERAS AND MONITOR - CONSULT WITH OWNER FOR LOCATIONS - PROVIDE ELECTRICAL AND WIRING OF CAMERAS AND MONITORS (CFCI)
12. GC TO PERMANENTLY INSTALL FLOOR SAFE AT LOCATION INDICATED - OWNER TO FURNISH SAFE (CFCI). COORDINATE LOCATION WITH OWNER.
13. EXISTING 3-COMPARTMENT SINK ON AUNTIE ANNE'S SIDE OF SUPPORT ROOM. (COMMON SHARE GUARD TO ADJACENT SURFACE, (CFCI).
14. NEW 2" X 2" CORNER GUARD FROM BASE TO 5'-0" A.F.F. - SILICONE SEAL ALL EDGES OF CORNER GUARD TO ADJACENT SURFACE, (CFCI).
15. EXISTING ELECTRICAL PANEL(S) TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
16. FIRE EXTINGUISHER (CFCI): 2A-10B - DRY-CHEM TYPE W/W MOUNT BRACKET (60" MAX HT TO TOP) - PROVIDE WALL BLOCKING
17. EXISTING WATER HEATER. REFER TO PLUMBING DRAWINGS.
18. EXISTING WATER HEATER. EXISTING FRP TO REMAIN, G.C. TO PATCH/REPAIR ANY DAMAGE.
19. EXISTING MOP SINK. G.C. SHALL VERIFY PROPER WORKING ORDER AND RE-SEAL TO FLOOR AS REQUIRED.
20. 16 GA STAINLESS STEEL VERTICAL CLOSURE ANGLES AT EACH SIDE OF WALK-IN FREEZER TO SEAL ADJACENT WALL TO FREEZER AND FLOOR COVE.
21. INSTALL WALK-IN FREEZER ON CONCRETE SLAB. INSTALL QUARRY TILE COVE BASE TO FACE OF FREEZER UNIT. (CFCI)
22. EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
23. EXISTING AUNTIE ANNE'S STORE. FOR REFERENCE ONLY. NO WORK.
24. EXISTING AUNTIE ANNE'S SUPPORT ROOM. NO WORK.
25. EXISTING TOILET ROOM VINYL TILE SHALL REMAIN. G.C. SHALL CLEAN TO LIKE NEW CONDITION.
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27. RELOCATE SECURITY KEYPAD AND THERMOSTAT. COORDINATE WITH OWNER FOR NEW LOCATION.
28. EXISTING PHONE BOARD SHALL REMAIN. G.C. SHALL VERIFY PROPER WORKING ORDER.
29. EXISTING LIFE SAFETY SYSTEM/ALARM SYSTEM, IF EXISTING AND REQUIRED, SHALL REMAIN AND BE RECONFIGURED FOR NEW TENANT BUILD-OUT. DO NOT REMOVE, MODIFY ONLY. G.C. SHALL VERIFY PRIOR TO DEMOLITION/CONSTRUCTION.
30. EXISTING TOILET ROOM WALL FINISHES SHALL REMAIN. G.C. SHALL CLEAN TO LIKE NEW CONDITION.
31. EXISTING TOILET ROOM FIXTURES AND ACCESSORIES SHALL REMAIN. G.C. SHALL CLEAN TO LIKE NEW CONDITION.
32. NOT USED.
33. EXISTING FLOOR DRAIN TO REMAIN. G.C. SHALL CLEAN TO LIKE NEW CONDITION.
34. G.C. TO COORDINATE THE REUSE OF EXISTING SECURITY PANEL WITH OWNER.
35. EXISTING TOILET ROOM DOOR/ FRAME SHALL BE REMAIN. G.C. SHALL CLEAN TO LIKE NEW CONDITION. PAINT SUPPORT ROOM SIDE.
36. NEW DOOR OPENING IN DEMISING WALL FOR ACCESS TO AUNTIE ANNE'S SUPPORT ROOM. G.C. TO CUT-IN NEW 3'-0" X 7'-0" DRYWALL CASSED OPENING. PROVIDE CORNER GUARDS. NO EXTEND FLOORING AS REQUIRED FROM HAAGEN DAZS INTO OPENING. PROVIDE TRANSITION STRIP TO EXISTING AUNTIE ANNE'S FLOORING. VIF
37. EXISTING AUNTIE ANNE'S CO2 AND BAG-IN-BOX EQUIPMENT SHALL BE LOCATED BY G.C. COORDINATE IN FIELD WITH OWNER.
38. EXISTING TOILET ROOM SIGNAGE.



2 FLOOR DIMENSION PLAN
1/4"=1'-0"



1 FLOOR & FINISH PLAN
1/4"=1'-0"

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DIMENSION, FLOOR FINISH PLAN

Drawing No. **A1.0**