

17020 JEFFERSON DAVIS HWY DUMFRIES, VA STORE #357281 INTERIOR IMAGE: NEXT GEN

GENERAL PROJECT NOTES

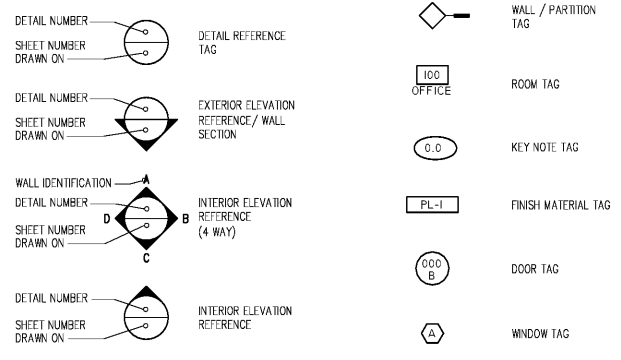
- THE CONTRACT DOCUMENTS CONSIST OF THE FOLLOWING:
 - ARCHITECTURAL DRAWINGS
 - STRUCTURAL DRAWINGS
 - M/E/P DRAWINGS
 - PROJECT MANUAL
 - EQUIPMENT MANUAL
- ALL WORK SHOWN IN THESE DRAWINGS SHALL BE PERFORMED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL USE ONLY EXPERIENCED CRAFTSMAN SKILLED IN THE DUTIES WHICH THEY ARE TO PERFORM ON THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED TRADE PERMITS PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY A REGULATORY AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AS HOLDER OF PERMITS TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION. REQUESTS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING JURISDICTION. INSPECTORS SHALL HAVE COMPLETE ACCESS TO ALL WORK. RECORDS OF INSPECTIONS SHALL BE MAINTAINED ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS AND FORMAT OF GOVERNING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES REQUIRED BY INSPECTORS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR ITS AGENTS.
- THESE DRAWINGS ARE NOT TO BE ALTERED IN ANY WAY WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.
- NO CHANGES OR MODIFICATIONS TO THE WORK SHALL BE MADE WITHOUT APPROVAL OF OWNER / ARCHITECT. FAILURE TO OBTAIN APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS OF THE WORK REQUIRED BY THE OWNER OR ANY REGULATORY AUTHORITY.
- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHOEVER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS SHALL NOT BE USED BY OWNER OR TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING WITH THE APPROPRIATE COMPENSATION TO THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL CONTACT CLIENT, OR THE ARCHITECT OF RECORD, REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH THE ARCHITECT'S CONSULTANTS, OR REGULATORY AGENCIES SHALL NOT BE CONSIDERED VALID AND ANY CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, OR NON APPROVALS DUE TO SUCH COMMUNICATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SHOULD ADDITIONAL ENGINEERING OR INVESTIGATIVE WORK BE REQUIRED DUE TO SITE OR ENVIRONMENTAL CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. ENGINEERING SERVICES REQUIRED FOR CHANGES OR MODIFICATIONS IN THESE DOCUMENTS SHALL BE SCALED BY OWNER.
- GENERAL CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUBCONTRACTORS. ALL CROSS-REFERENCING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO ADDITIONAL COMPENSATION WILL BE DUE TO A CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF INCONSISTENCIES OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC.
- THESE CONSTRUCTION DOCUMENTS ARE NOT TO BE SCALED. SHOULD IT BE DETERMINED A DIMENSION IS NOT SPECIFICALLY PROVIDED, CONTACT THE ARCHITECT.
- DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS ON A SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR DISCREPANCY OR VARIATION BETWEEN DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE, BECOME FAMILIAR WITH THE SITE BEFORE COMMENCING THE WORK. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFY THE CONDITIONS AND CHARACTER OF THE CONSTRUCTION, MATERIALS, AND AVAILABLE UTILITIES AND STRUCTURAL ELEMENTS AND NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ACCEPT THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS AND SUPPLIERS OF MATERIALS TO SECURE ALL NECESSARY ADAPTATIONS TO THE SAME AS REQUIRED FOR THEIR RESPECTIVE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLATION OF MATERIALS, EQUIPMENT, OR COMPONENTS WHICH ARE TO BE INTEGRATED WITH THE WORKMANSHIP PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND THAT WORK IS BUILDABLE. WORK SHALL BE SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE AVOIDED PRIOR TO RELATED WORK BEING STARTED. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF HIS WORK. ANY UNREPORTED DEFICIENCIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
- CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, WIRING AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

DUNKIN' BRANDS

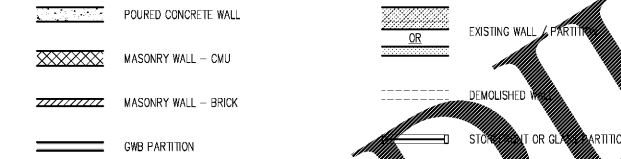
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- THE WORK WILL CONFORM WITH THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO THE CURRENTLY APPLICABLE EDITIONS OR PUBLICATIONS OF THE FOLLOWING:
 - NATIONAL FIRE PROTECTION ASSOCIATION
 - AMERICAN NATIONAL STANDARDS INSTITUTE
 - LOCAL BUILDING & FIRE CODES AND REQUIREMENTS
- INSTALL ALL WORK WITH APPROVED FASTENERS, AS REQUIRED TO HOLD WORK SECURE, LEVEL, PLUMB, AND TRUE TO LINE. FASTENERS TO BE SET BELOW THE FINISHED SURFACES, FILL HOLES WITH WOOD PUTTY OR OTHER APPROVED MATERIAL. SAND FLUSH WITH SURFACE SO AS TO BE UNDETECTABLE IN THE FINISH. BLIND NAIL WHENEVER POSSIBLE. ROUND ALL EXPOSED EDGES OF ASSEMBLY TO 1/8" RADIUS.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL SPACE AND TRUE, AND IN PROPER ALIGNMENT.
- CUT AND FIT COMPONENTS FOR ALTERATIONS OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.
- PATCH AND REPAIR ALL FIREPROOFING DAMAGED OR REMOVED DURING PERFORMANCE OF THE WORK. FIREPROOF REPAIR PENETRATIONS REQUIRED BY THE WORK.
- COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL MOUNTED MILLWORK, SHELVING, AND STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE CONSTRUCTION WITH OWNER FURNISHED ITEMS. CONTRACTOR SHALL PROVIDE NECESSARY PROTECTION OF OWNER ITEMS.
- CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION FOR ANY EXISTING FINISHES INCLUDING ELEVATORS, LOBBIES AND CORRIDORS OF THE BASE BUILDING. ANY REPAIR TO EXISTING AREAS ARE NOT PART OF THIS PROJECT OR CONTRACT UNLESS NOTED.
- CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS AND INSTALLATION PROCEDURES. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
- EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO AVOID DISTURBANCES TO ADJACENT TENANTS AND THEIR OCCUPANTS' PROPERTY, PUBLIC THROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
- THE CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE, ODOR NUISANCE AND THE LIKE TO THE PREMISES AND THE OCCUPANCY.
- THE FINISHED WORK SHALL BE FIRM WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH SHALL NOT PRESENT HAZARDOUS CONDITIONS OR UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACK, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS OF ELEMENTS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL MAINTAIN RECORDS OF THE EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL, TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE OWNER'S ARCHITECT OF RECORD.
- THE CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY TO MILLWORK, EQUIPMENT, TERMINALS, AND ELECTRICAL SYSTEMS. NO ALLOWANCE, OVERTSIZING AND MODIFICATION TO THE CONTRACTOR'S JOINTS TO FORESEE MEANS OF INSTALLATION OF EQUIPMENT IN THESE DOCUMENTS.
- NO INTERFERING CONSTRUCTION OR OVERTSIZING OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND/OR SPECIFICATIONS SHALL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER AND POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OR DEFICIENCIES WITHIN REQUIRED TIME GUARANTEES SHALL BE CORRECTED BY WORK CONTRACTOR WITH INTENT OF CONTRACT. NO PAYMENT WHETHER FINAL OR FINAL SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR OTHER MATERIALS.
- MAJOR BRAND WORKMANSHIP SPECIFIED BY THE REFERENCE TO NUMBER SYMBOL, TO TITLE OF SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THEREON IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
- CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OF GOVERNING CODES, ORDINANCES, ETC. REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
- CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY TO ALLOW THE ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTE.
- IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INFERRED BY CONTRACT DOCUMENTS, OWNERS MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS OBLIGATIONS TO SECURE QUALITY WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
- WITH REFERENCE TO CEILINGS, CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED AND PREPARE COMPOSITE SHOP DRAWINGS TO INSURE CLEARANCES FOR FIXTURES, DUCTS, COLLINGS, ETC., NECESSARY TO MAINTAIN THE SPOFFED FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR AS NOTED ON THE DRAWINGS. CLARIFY CONFLICTS WITH THE ARCHITECT.
- THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR DESIGNING THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE COMPLETED BY THE ARCHITECT. THIS FUNCTION OF THE ARCHITECT WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED, AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.
- REFERENCE TO MAKES, BRANDS, MODELS, ETC. IS TO ESTABLISH TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED. SUBSTITUTIONS MUST BE SUBMITTED TO OWNER AND THE ARCHITECT FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF THIS WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT.
- THE GENERAL CONTRACTOR SHALL VERIFY & COORDINATE EXTENT OF SLAB CUT AND TRENCHING FOR NEW PLUMBING AND ELECTRICAL WITH NEW PROJECT REQUIREMENTS. SAWCUT AND/OR CORE AND REMOVE CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF ELECTRIC AND PLUMBING. COMPACT SUB-GRADE AND FILL FLUSH TO EXISTING SURFACE. PROVIDE SMOOTH, LEVEL, STEEL TROWELED SURFACE READY TO RECEIVE FINISHES.
- ANY AND ALL SLAB PENETRATIONS THRU ABOVE GRADE REINFORCED STRUCTURAL CONCRETE SLABS SHALL BE X-RAYED PRIOR TO CUTTING OR TRENCHING IN ORDER TO DETERMINE IF REINFORCING MEMBERS WILL BE DAMAGED BY THE SEVERAL INTERESTS OF THE SLAB JEOPARDIZED. ALL X-RAY RESULTS WILL BE SUBMITTED AND ANALYZED BY THE REGISTERED STRUCTURAL ENGINEER OF RECORD TO DETERMINE WHAT, AND WHETHER OR CORRECTIVE MEASURES NEED TO BE IMPLEMENTED PRIOR TO AUTHORIZATION OF COMMENCEMENT TO CUT THE SLAB. ALL REPAIRS REQUIRED DUE TO PRE-AUTHORIZED SLAB CUTTING OR CORRECTIVE STRUCTURAL ANALYSIS AND RESULTS SHALL BE AT THE CONTRACTOR'S SOLE RESPONSIBILITY AND COST.
- SOUND CAULK ALL ACOUSTICAL JOISTS - TOP AND BOTTOM JOISTS WITH APPROVED ACOUSTICAL CAULKING.
- IN THE EVENT THAT ASBESTOS IS FOUND IN CEILINGS, ETC., THEN ITS REMOVAL OR ENCLOSURE SHALL BE COORDINATED WITH THE ARCHITECT.
- CONTRACTOR TO ENSURE THAT ALL GAS LINES ARE TURNED OFF BEFORE REMOVING, CUTTING OR CAPPING EXISTING PIPING.
- CONTRACTOR TO DETERMINE ADEQUACY OF THE EXISTING HVAC UNITS. UPON COMPLETION OF CONSTRUCTION, GC TO REBALANCE ENTIRE SPACE.
- CONTRACTOR SHALL PROVIDE MAINTENANCE SPEC FOR ALL FINISHES.
- CONTRACTOR SHALL PROVIDE 1 YEAR WARRANTY ON ALL WORK.
- ALL WOOD USED FOR PARTITIONS, STRUCTURAL ELEMENTS, ROOF FRAMING, BULKHEAD FRAMING AND SIMILAR PURPOSES SHALL BE FIRE RETARDANT TREATED WOOD IN ACCORDANCE WITH AWPAC-C27-74 FOR PLYWOOD, AWPAC-C24-74 FOR LUMBER WHETHER SPECIFICALLY NOTED AS SUCH OR NOT.
- THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER, INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE GC OR OTHERS.
- THE GENERAL CONTRACTOR SHALL OBTAIN ANY APPROVALS (IF NECESSARY) FOR ROOF PENETRATIONS IN WRITING BY THE LANDLORD. IN THE EVENT THE LANDLORD REQUIRES THE PENETRATIONS TO BE MADE BY THE LANDLORD'S CONTRACTOR, THE GENERAL CONTRACTOR SHALL BEAR SUCH EXPENSE UNLESS OTHERWISE AGREED TO IN WRITING.
- THE GENERAL CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION BARRICADES AND/OR CANDLES AS REQUIRED BY LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN SAFETY.
- NO ASBESTOS OR ASBESTOS CONTAINING MATERIALS (ACM) SHALL BE USED IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL NOTIFY ARCHITECT OF MATERIALS SUSPECTED TO BE ACM.
- CONTRACTOR SHALL PROVIDE ALL FLOOR LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING SPACES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY AND ALL ACCESS PANELS AS REQUIRED.
- ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
- THE GENERAL CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
- CONTRACTOR TO PROVIDE AND / OR MAINTAIN FIRE RATED ASSEMBLIES WHERE SHOWN, OR AS REQUIRED.
- WHERE NEW CONSTRUCTION IS TO BE SUSPENDED FROM THE EXISTING STRUCTURE, THE GENERAL CONTRACTOR SHALL VERIFY THAT THE EXISTING STRUCTURE HAS THE CAPACITY TO SUPPORT SUCH NEW ASSEMBLIES.
- ALL SPRINKLER WORK MODIFICATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES ON SITE. CONTRACTOR IS RESPONSIBLE FOR ALL SPRINKLER WORK, ENGINEERING AND HYDRAULIC CALCULATIONS FOR ALL UPGRADES AND MODIFICATIONS, INCLUDING ALL RISERS AND HEADS. ALL SPRINKLER WORK SHALL ACCOMMODATE IMPROVEMENTS PER APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS.

DRAWING SYMBOL LEGEND



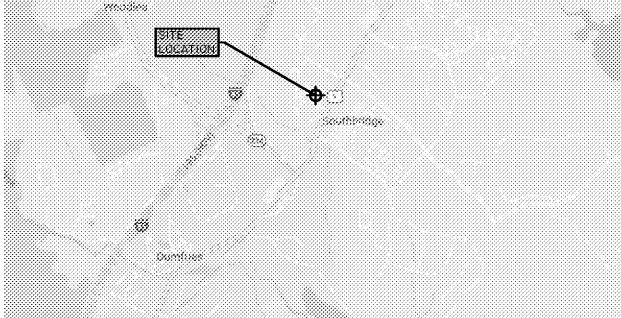
WALL / PARTITION LEGEND



ABBREVIATIONS

ABV	-ABOVE	EQU	-EQUIPMENT	MIL	-METAL
ACT	-ACOUSTIC CEILING TILE	EX	-EXISTING	NOT	-NOT IN CONTRACT
AFF	-ABOVE FINISHED FLOOR	EXT	-EXTERIOR	NOTS	-NOT TO SCALE
ALT	-ALTERNATE	FD	-FLOOR DRAIN	OC	-ON CENTER
ALUM	-ALUMINUM	FE	-FIRE EXTINGUISHER	PAL	-PANEL
ARCH	-ARCHITECTURAL	FIN	-FINISH	PNT	-PAINT
BID	-BIDDING	FIXT	-FIXTURE	PTD	-PAINTED
BKG	-BACKING	FLR	-FLOOR	R	-RISER
BLK	-BLACK	FLUR	-FLOOR CURB	RAD	-RADIUS
B	-BEARING	FS	-FLOOR SINK	REQ'D	-REQUIRED
C	-CONCRETE	FURR	-FURRING	RM	-ROOM
CL	-CLEAR	GA	-GAUGE	SC	-SOLID CORE
CLNG	-CLADDING	GALV	-GALVANIZED	SCHED	-SCHEDULE
CLST	-CLUSTERS	GC	-GENERAL CONTRACTOR	SEC	-SECTION
CMU	-CONCRETE MASONRY UNIT	GSF	-GROSS SQUARE FEET	SHT	-SHEET
CO	-CASUALTY	GWB	-GYPSUM WALL BOARD	SM	-SIMILAR
COL	-COLUMN	HC	-HOLLOW CORE / HANGCAPPED	SS	-STAINLESS STEEL
CONC	-CONCRETE	HR	-HOLLOW CORE / HANGCAPPED	STL	-STEEL
CONT	-CONTINUOUS	HM	-HOLLOW METAL	SM	-SIMILAR
DIA	-DIAMETER	HR	-HEATING	TBD	-TO BE DETERMINED
DN	-DOWN	HVAC	-HEATING, VENTILATION & AIR CONDITIONING	TEL	-TELEPHONE
DR	-DOOR	INSUL	-INSULATION	TEMP	-TEMPERED
DTL	-DETAIL	LAM	-LAMINATE	TYP	-TYPICAL
DWG	-DRAWING	LAV	-LAVATORY	UL	-UNDERWRITER'S LABORATORY
EA	-EACH	MAX	-MAXIMUM	UNO	-UNLESS NOTED OTHERWISE
ELEV	-ELEVATION	MECH	-MECHANICAL	VCT	-VINYL COMPOSITION TILE
ELEC	-ELECTRIC	MN	-MECHANICAL	VF	-VERIFY IN FIELD
EMER	-EMERGENCY	MISC	-MISCELLANEOUS	WC	-WATER CLOSET
EQ	-EQUAL	MO	-MASONRY OPENING	WD	-WOOD
				WMF	-WELDED WIRE FABRIC

VICINITY MAP



DRAWING SHEET INDEX

SHEET No.	SHEET TITLE
T-1	PROJECT INFORMATION AND TITLE SHEET
T-2	CODE ANALYSIS AND LIFE SAFETY PLAN
T-3	ACCESSIBILITY DETAILS & INFORMATION
T-4	INTERIOR PARTITION SCHEDULE
T-5	FINISH SCHEDULES & NATIONAL ACCOUNTS
T-6	UL ASSEMBLIES
AS-1	ARCHITECTURAL SITE AMENITIES PLAN
AS-2	ARCHITECTURAL SITE AMENITIES DETAILS
A-1	FLOOR PLAN
A-2	ROOF PLAN
A-3	REFLECTED CEILING PLAN
A-4	FINISH PLAN
A-5	INTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATIONS
A-7	SCHEDULES & DETAILS
FS-1	ROUGH IN PLAN
FS-2	ROUGH IN ELEVATIONS
K-1	EQUIPMENT SCHEDULE

STRUCTURAL

S-1	ROOF PART PLAN, NOTES & DETAILS
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MECHANICAL

M-1	FLOOR PLAN, NOTES AND SCHEDULES
M-2	HVAC ROOF PLAN AND HVAC DETAILS
M-3	HOOD DETAILS & UNOCCUPIED/OCCUPIED PANEL

PLUMBING

P-1	SANITARY FLOOR PLAN
P-1A	WATER FLOOR PLAN
P-2	PLUMBING RISERS AND SCHEDULES
P-3	PLUMBING DETAILS
P-3A	PLUMBING DETAILS
P-4	WATER FILTRATION SYSTEM DETAIL

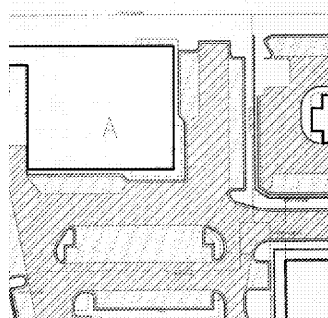
ELECTRICAL

ES-1	SITE PLAN - ELECTRICAL
E-0	LEGEND AND SPECIFICATIONS
E-1	LIGHTING PLAN
E-1A	LIGHTING CONTROL SYSTEM DETAILS
E-2	POWER PLAN
E-3	POS SYSTEM PLAN
E-4	ROOF PLAN - POWER
E-5	RISER DIAGRAMS & SCHEDULES

LANDLORD REQUIRED CONTRACTORS

SPRINKLER & FIRE ALARM SYSTEM MODIFICATIONS:
REDHAWK FIRE & SECURITY
8320 KLEIN ROAD
SUITE 400
SPRINGFIELD, VA 22150
PHONE: 1-800-745-2580

KEY PLAN



REVIEW APPROVAL

APPROVAL FOR THESE PLANS BY DUNKIN' BRANDS DOES NOT IMPLY THAT DUNKIN' BRANDS HAS REVIEWED THEM FOR CONFORMITY TO APPLICABLE CODES OR REGULATIONS

APPROVED
 APPROVED AS NOTED: Submit Record Copy for Archives
 DISAPPROVED AS NOTED: Revise and Resubmit
 INCOMPLETE INFORMATION: Add requested information and resubmit

DATE: _____

DUNKIN' BRANDS
CONSTRUCTION MANAGER

NOTES:



OSRIR
Quick Service Restaurant and Retail
Design Group, LLC
Esderne Road, Suite 2D Annapolis, MD 21409
Ph. No. (301) 364-9880



dunkin' brands
STORE #357281
JEFFERSON DAVIS HWY
DUMFRIES, VA

REVISION		
No.	DATE	DESCRIPTION

DWG DATE: 06-29-2018
DRAWN BY: STAFF
PROJECT No.: 17157
DWG TITLE:

PROJECT INFORMATION AND TITLE SHEET

SHEET No.

T-1