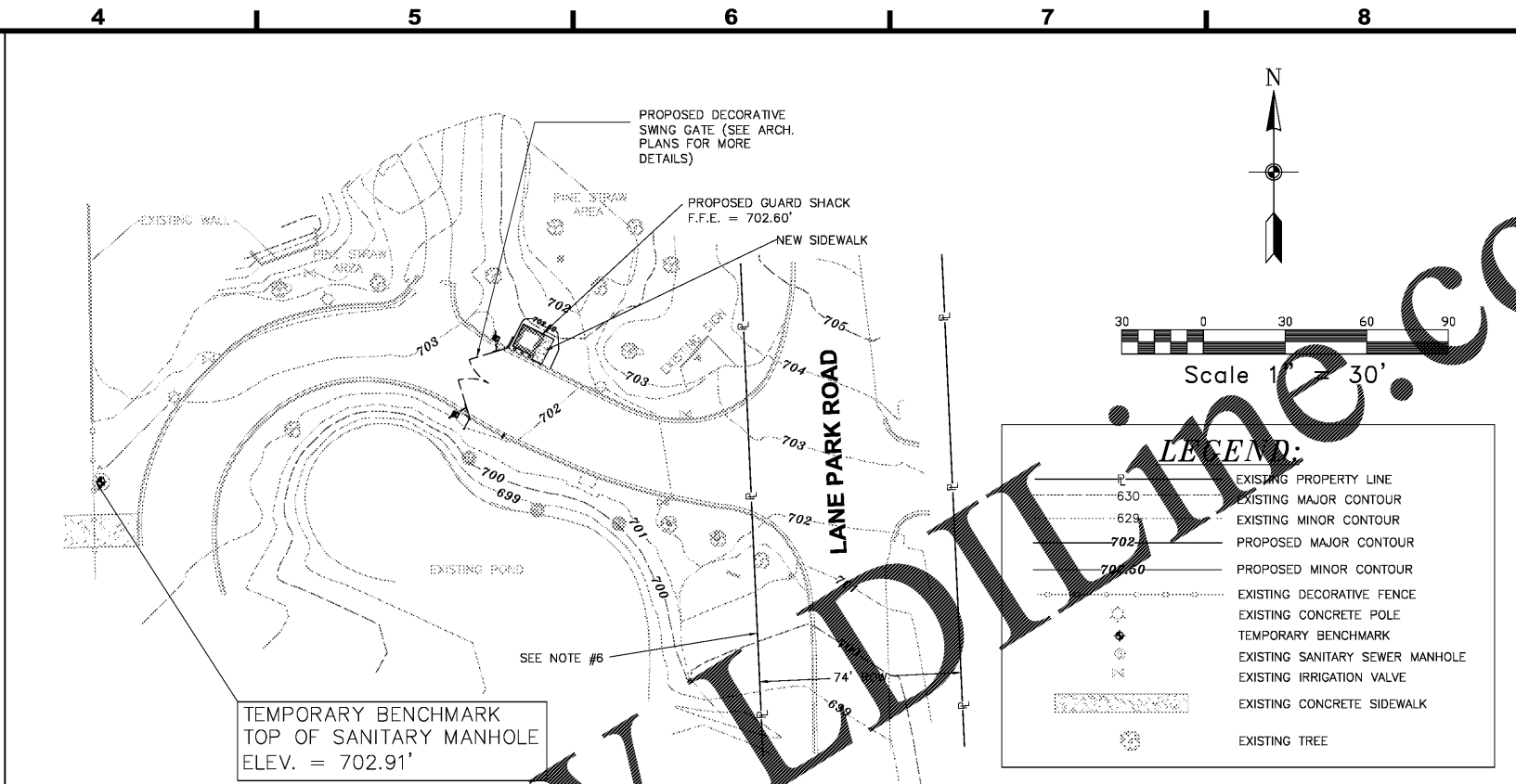
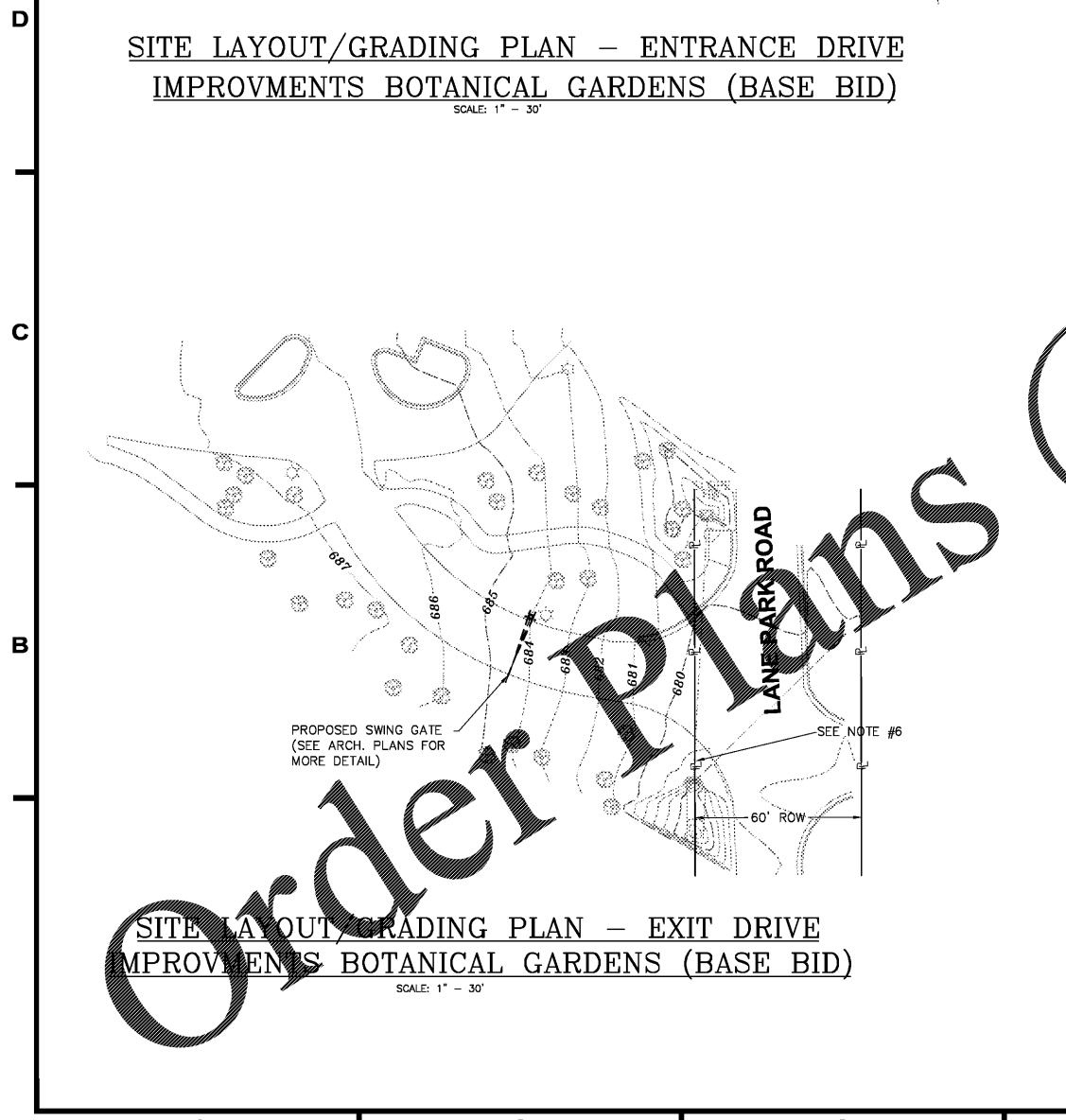


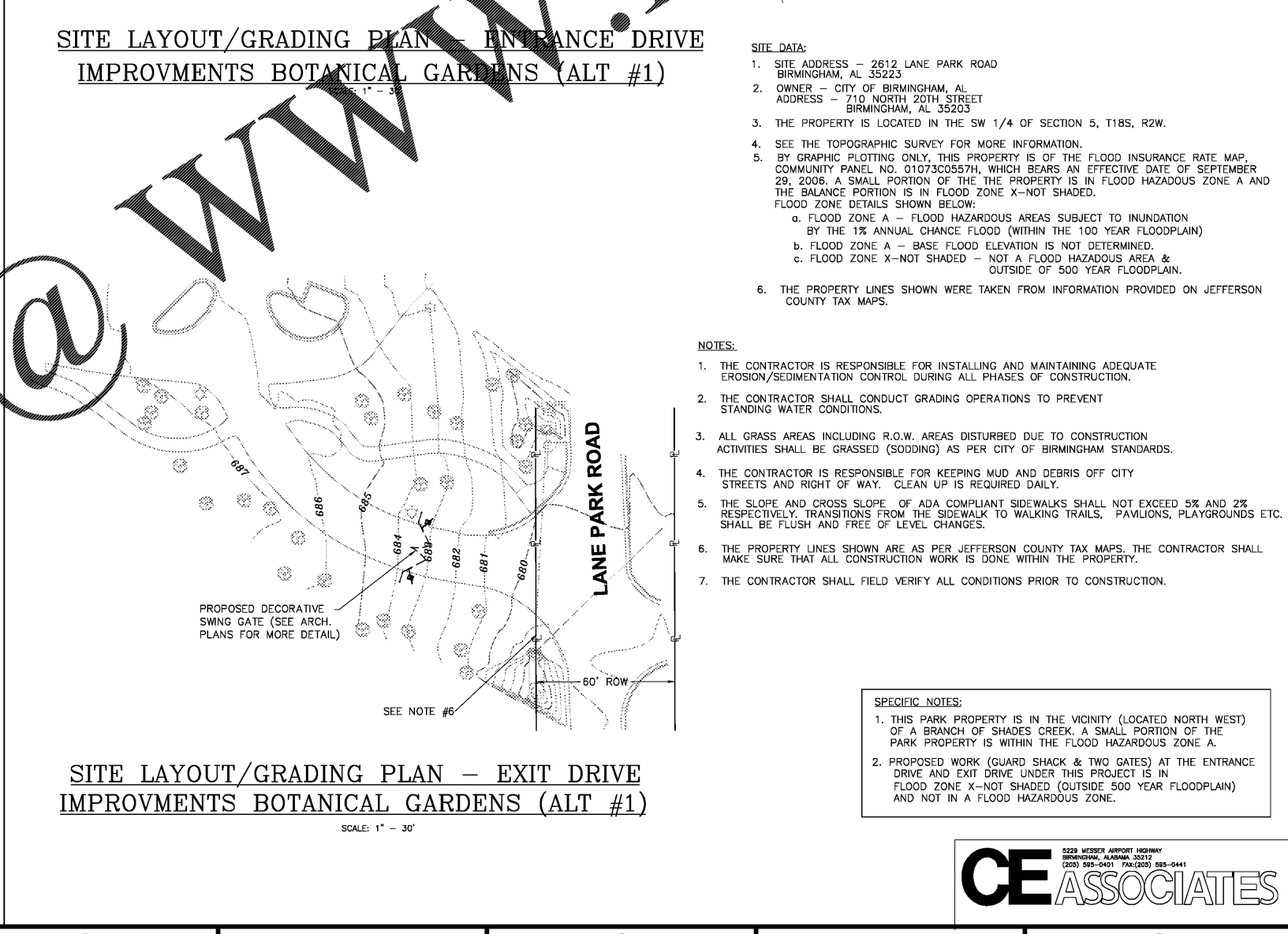
**SITE LAYOUT/GRADING PLAN – ENTRANCE DRIVE IMPROVMENTS BOTANICAL GARDENS (BASE BID)**  
SCALE: 1" = 30'



**SITE LAYOUT/GRADING PLAN – ENTRANCE DRIVE IMPROVMENTS BOTANICAL GARDENS (ALT #1)**  
SCALE: 1" = 30'



**SITE LAYOUT/GRADING PLAN – EXIT DRIVE IMPROVMENTS BOTANICAL GARDENS (BASE BID)**  
SCALE: 1" = 30'



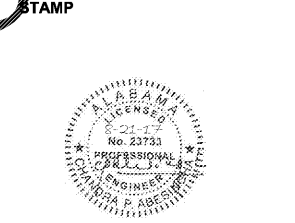
**SITE LAYOUT/GRADING PLAN – EXIT DRIVE IMPROVMENTS BOTANICAL GARDENS (ALT #1)**  
SCALE: 1" = 30'

- LEGEND:**
- EXISTING PROPERTY LINE
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - EXISTING DECORATIVE FENCE
  - EXISTING CONCRETE POLE
  - TEMPORARY BENCHMARK
  - EXISTING SANITARY SEWER MANHOLE
  - EXISTING IRRIGATION VALVE
  - EXISTING CONCRETE SIDEWALK
  - EXISTING TREE
- SITE DATA:**
1. SITE ADDRESS – 2612 LANE PARK ROAD BIRMINGHAM, AL 35223
  2. OWNER – CITY OF BIRMINGHAM, AL ADDRESS – 710 NORTH 20TH STREET BIRMINGHAM, AL 35203
  3. THE PROPERTY IS LOCATED IN THE SW 1/4 OF SECTION 5, T18S, R2W.
  4. SEE THE TOPOGRAPHIC SURVEY FOR MORE INFORMATION.
  5. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 0107300557H, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. A SMALL PORTION OF THE THE PROPERTY IS IN FLOOD HAZARDOUS ZONE A AND THE BALANCE PORTION IS IN FLOOD ZONE X–NOT SHADED. FLOOD ZONE DETAILS SHOWN BELOW:
    - a. FLOOD ZONE A – FLOOD HAZARDOUS AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (WITHIN THE 100 YEAR FLOODPLAIN)
    - b. FLOOD ZONE A – BASE FLOOD ELEVATION IS NOT DETERMINED.
    - c. FLOOD ZONE X–NOT SHADED – NOT A FLOOD HAZARDOUS AREA & OUTSIDE OF 500 YEAR FLOODPLAIN.
  6. THE PROPERTY LINES SHOWN WERE TAKEN FROM INFORMATION PROVIDED ON JEFFERSON COUNTY TAX MAPS.

- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
  2. THE CONTRACTOR SHALL CONDUCT GRADING OPERATIONS TO PREVENT STANDING WATER CONDITIONS.
  3. ALL GRASS AREAS INCLUDING R.O.W. AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITIES SHALL BE GRASSED (SOODING) AS PER CITY OF BIRMINGHAM STANDARDS.
  4. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY. CLEAN UP IS REQUIRED DAILY.
  5. THE SLOPE AND CROSS SLOPE OF ADA COMPLIANT SIDEWALKS SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. TRANSITIONS FROM THE SIDEWALK TO WALKING TRAILS, PAVILIONS, PLAYGROUNDS ETC. SHALL BE FLUSH AND FREE OF LEVEL CHANGES.
  6. THE PROPERTY LINES SHOWN ARE AS PER JEFFERSON COUNTY TAX MAPS. THE CONTRACTOR SHALL MAKE SURE THAT ALL CONSTRUCTION WORK IS DONE WITHIN THE PROPERTY.
  7. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.

- SPECIFIC NOTES:**
1. THIS PARK PROPERTY IS IN THE VICINITY (LOCATED NORTH WEST) OF A BRANCH OF SHADES CREEK. A SMALL PORTION OF THE PARK PROPERTY IS WITHIN THE FLOOD HAZARDOUS ZONE A.
  2. PROPOSED WORK (GUARD SHACK & TWO GATES) AT THE ENTRANCE DRIVE AND EXIT DRIVE UNDER THIS PROJECT IS IN FLOOD ZONE X–NOT SHADED (OUTSIDE 500 YEAR FLOODPLAIN) AND NOT IN A FLOOD HAZARDOUS ZONE.

PROJECT TITLE  
CITY OF BIRMINGHAM  
PARKS & RECREATION  
PRE-FABRICATED  
BUILDINGS PACKAGE  
SITE  
BOTANICAL GARDENS  
2612 LANE PARK RD  
BIRMINGHAM AL 35223



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STUDIO 2H DESIGN, LLC FAX: 205-264-9992

NOT FOR CONSTRUCTION   
RELEASED FOR CONSTRUCTION   
DATE: JUNE 22, 2017  
DRAWN BY: JAS/CPA  
REVIEWED BY: CPA

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NOLANDA HATCHER & CHRIS HOBSONS

**REVISIONS**

Revision	Date	Description

SHEET TITLE  
**SITE LAYOUT/ GRADING PLAN**  
DRAWING NUMBER  
**C1.2**  
PROJECT NUMBER  
201626

