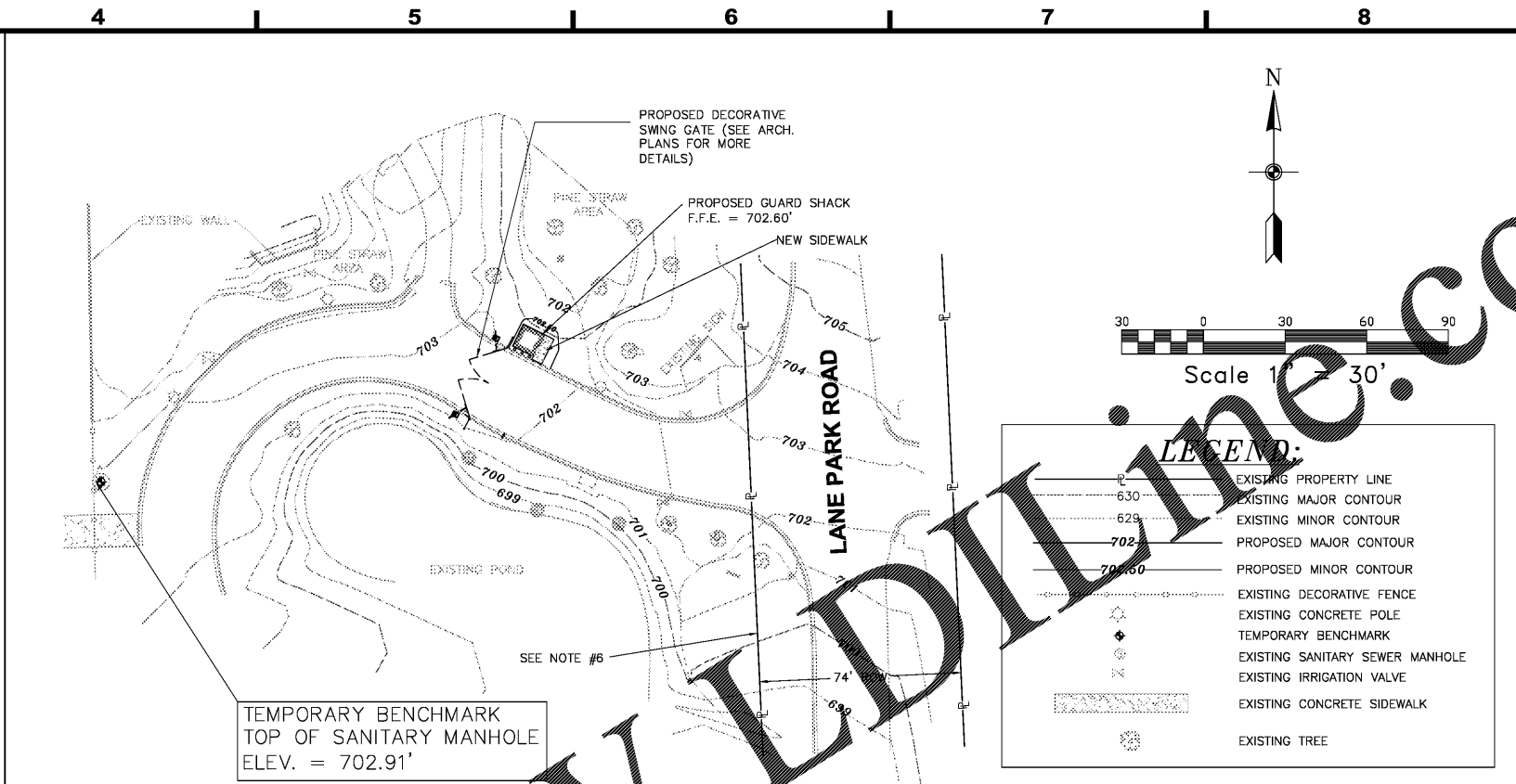
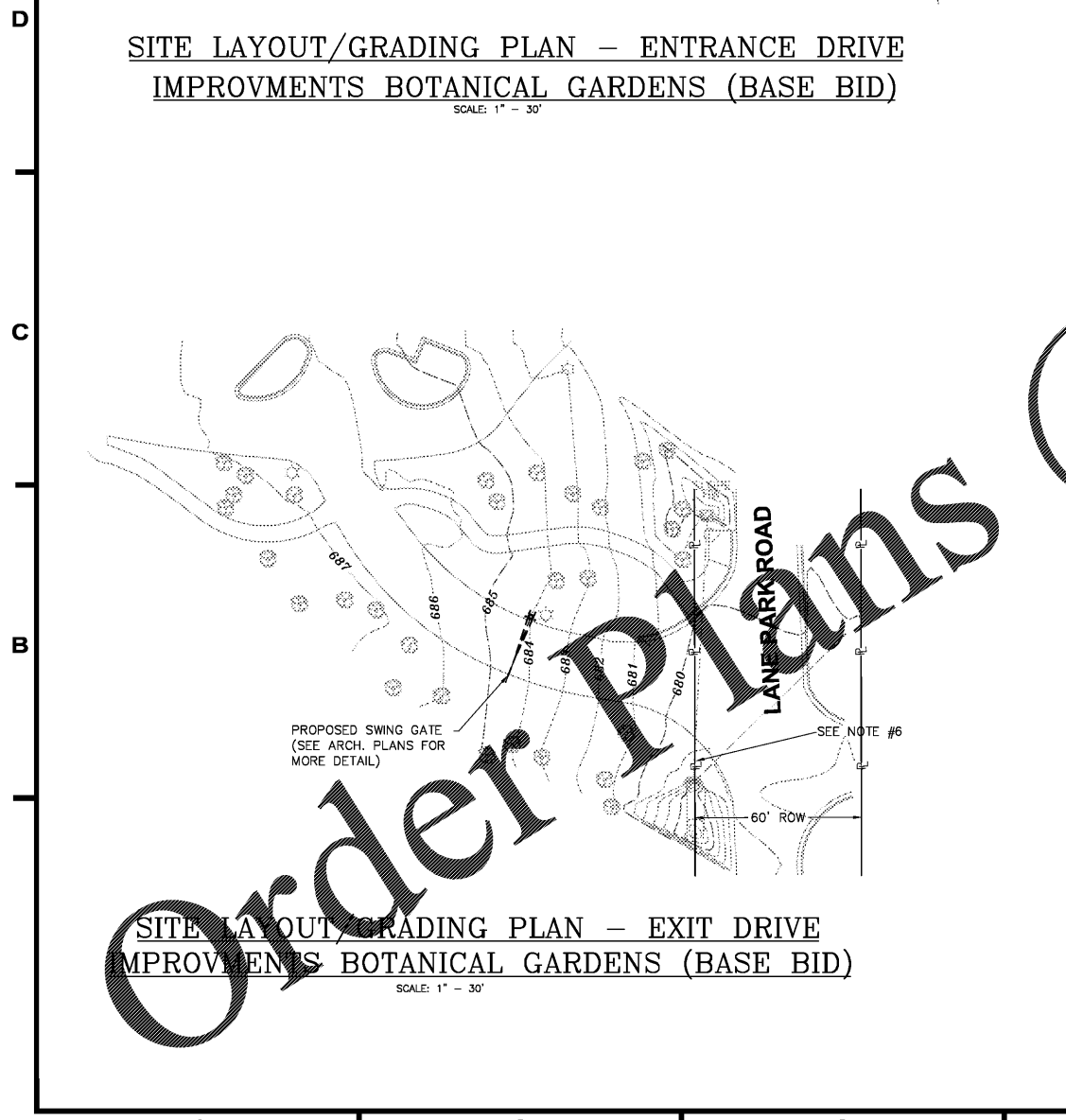


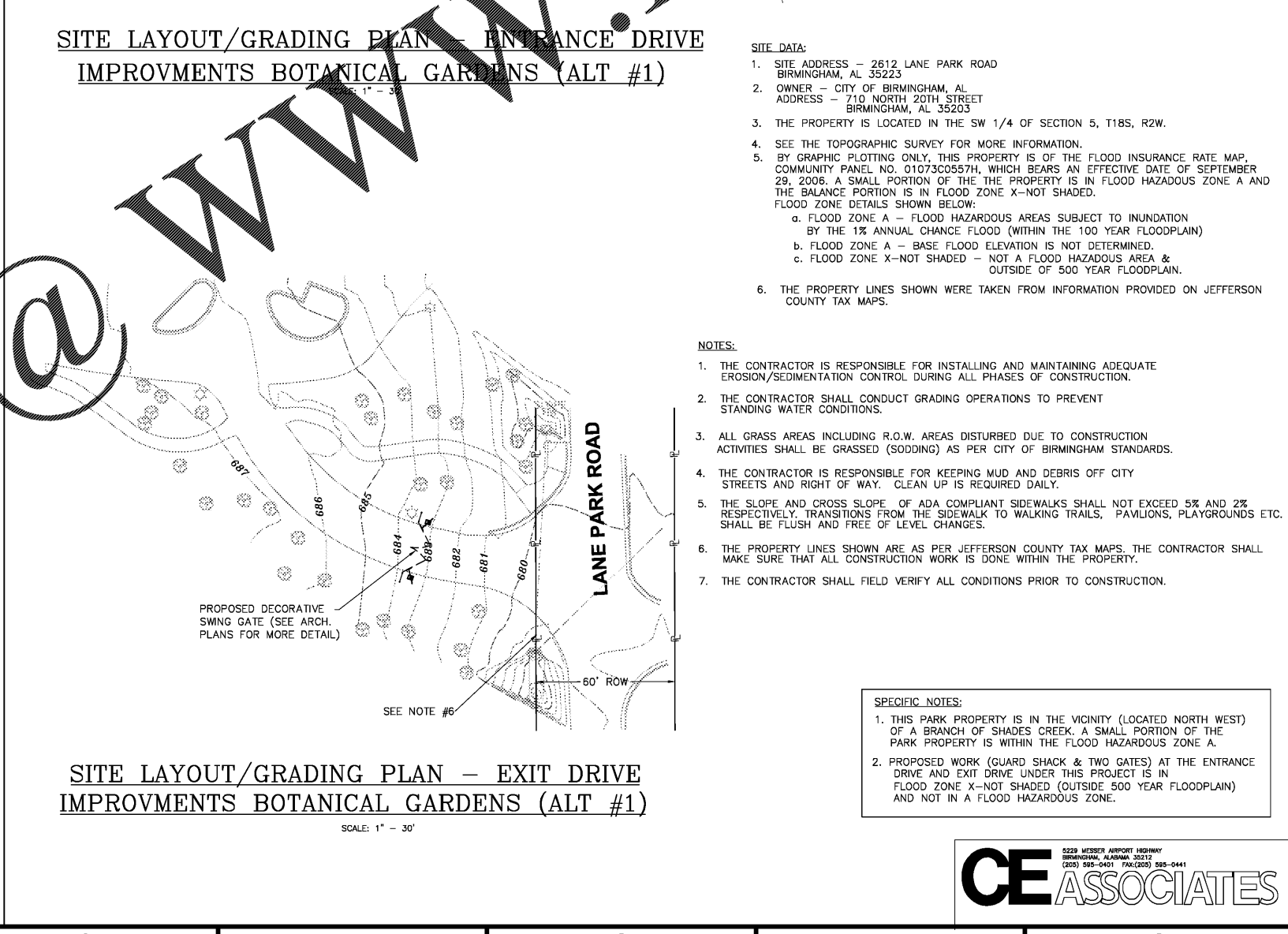
**SITE LAYOUT/GRADING PLAN – ENTRANCE DRIVE IMPROVMENTS BOTANICAL GARDENS (BASE BID)**  
SCALE: 1" = 30'



**SITE LAYOUT/GRADING PLAN – ENTRANCE DRIVE IMPROVMENTS BOTANICAL GARDENS (ALT #1)**  
SCALE: 1" = 30'



**SITE LAYOUT/GRADING PLAN – EXIT DRIVE IMPROVMENTS BOTANICAL GARDENS (BASE BID)**  
SCALE: 1" = 30'



**SITE LAYOUT/GRADING PLAN – EXIT DRIVE IMPROVMENTS BOTANICAL GARDENS (ALT #1)**  
SCALE: 1" = 30'

**LEGEND:**

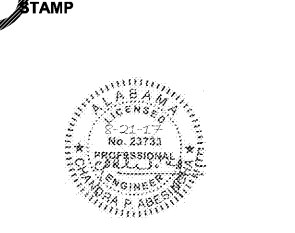
- EXISTING PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING DECORATIVE FENCE
- EXISTING CONCRETE POLE
- TEMPORARY BENCHMARK
- EXISTING SANITARY SEWER MANHOLE
- EXISTING IRRIGATION VALVE
- EXISTING CONCRETE SIDEWALK
- EXISTING TREE

- SITE DATA:**
- SITE ADDRESS – 2612 LANE PARK ROAD BIRMINGHAM, AL 35223
  - OWNER – CITY OF BIRMINGHAM, AL ADDRESS – 710 NORTH 20TH STREET BIRMINGHAM, AL 35203
  - THE PROPERTY IS LOCATED IN THE SW 1/4 OF SECTION 5, T18S, R2W.
  - SEE THE TOPOGRAPHIC SURVEY FOR MORE INFORMATION.
  - BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 0107300557H, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. A SMALL PORTION OF THE THE PROPERTY IS IN FLOOD HAZARDOUS ZONE A AND THE BALANCE PORTION IS IN FLOOD ZONE X–NOT SHADED. FLOOD ZONE DETAILS SHOWN BELOW:
    - FLOOD ZONE A – FLOOD HAZARDOUS AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (WITHIN THE 100 YEAR FLOODPLAIN)
    - FLOOD ZONE A – BASE FLOOD ELEVATION IS NOT DETERMINED.
    - FLOOD ZONE X–NOT SHADED – NOT A FLOOD HAZARDOUS AREA & OUTSIDE OF 500 YEAR FLOODPLAIN.
  - THE PROPERTY LINES SHOWN WERE TAKEN FROM INFORMATION PROVIDED ON JEFFERSON COUNTY TAX MAPS.

- NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ADEQUATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.
  - THE CONTRACTOR SHALL CONDUCT GRADING OPERATIONS TO PREVENT STANDING WATER CONDITIONS.
  - ALL GRASS AREAS INCLUDING R.O.W. AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITIES SHALL BE GRASSED (SODDING) AS PER CITY OF BIRMINGHAM STANDARDS.
  - THE CONTRACTOR IS RESPONSIBLE FOR KEEPING MUD AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY. CLEAN UP IS REQUIRED DAILY.
  - THE SLOPE AND CROSS SLOPE OF ADA COMPLIANT SIDEWALKS SHALL NOT EXCEED 5% AND 2% RESPECTIVELY. TRANSITIONS FROM THE SIDEWALK TO WALKING TRAILS, PAVILIONS, PLAYGROUNDS ETC. SHALL BE FLUSH AND FREE OF LEVEL CHANGES.
  - THE PROPERTY LINES SHOWN ARE AS PER JEFFERSON COUNTY TAX MAPS. THE CONTRACTOR SHALL MAKE SURE THAT ALL CONSTRUCTION WORK IS DONE WITHIN THE PROPERTY.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.

- SPECIFIC NOTES:**
- THIS PARK PROPERTY IS IN THE VICINITY (LOCATED NORTH WEST) OF A BRANCH OF SHADES CREEK. A SMALL PORTION OF THE PARK PROPERTY IS WITHIN THE FLOOD HAZARDOUS ZONE A.
  - PROPOSED WORK (GUARD SHACK & TWO GATES) AT THE ENTRANCE DRIVE AND EXIT DRIVE UNDER THIS PROJECT IS IN FLOOD ZONE X–NOT SHADED (OUTSIDE 500 YEAR FLOODPLAIN) AND NOT IN A FLOOD HAZARDOUS ZONE.

PROJECT TITLE  
CITY OF BIRMINGHAM  
PARKS & RECREATION  
PRE-FABRICATED  
BUILDINGS PACKAGE  
SITE  
BOTANICAL GARDENS  
2612 LANE PARK RD  
BIRMINGHAM AL 35223



**STUDIO 2H**  
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NORTH, SUITE 101  
BIRMINGHAM, AL 35203  
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DESIGN OFFICE: 205-264-9988  
STUDIO 2H DESIGN, LLC FAX: 205-264-9992

NOT FOR CONSTRUCTION   
RELEASED FOR CONSTRUCTION   
DATE: JUNE 22, 2017  
DRAWN BY: JAS/CPA  
REVIEWED BY: CPA

**REUSE OF DOCUMENTS**  
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NOLANDA HATCHER & CREIG HOBSONS

**REVISIONS**

Revision	Date	Description

SHEET TITLE  
**SITE LAYOUT/GRADING PLAN**  
DRAWING NUMBER  
**C1.2**  
PROJECT NUMBER  
201626

