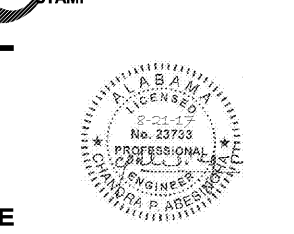


PROJECT TITLE  
 CITY OF BIRMINGHAM  
 PARKS & RECREATION  
 PRE-FABRICATED  
 BUILDING PACKAGE  
 SITE  
 A.G. GASTON PARK  
 916 WASHINGTON AVENUE  
 BIRMINGHAM, AL 35211



**STAMP**  
 1721 4TH AVENUE  
 NORTH, SUITE 101  
 BIRMINGHAM, AL 35203  
 www.studio2hd.com  
 OFFICE: 205-264-9988  
 STUDIO 2H DESIGN, LLC FAX: 205-264-9992

NOT FOR CONSTRUCTION   
 RELEASED FOR CONSTRUCTION   
 DATE: JUNE 22, 2017  
 DRAWN BY: JAS/CPA  
 REVIEWED BY: CPA

**REUSE OF DOCUMENTS**  
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 NOLANDA HATCHER & CRAIG HOBSONS

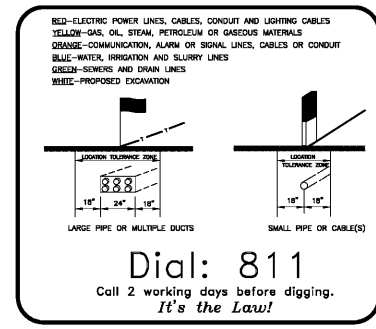
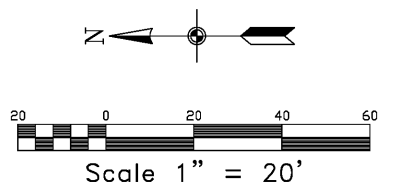
**REVISIONS**

Revision	Date	Description

SHEET TITLE  
**SITE LAYOUT/  
 GRADING/UTILITY PLAN**  
 DRAWING NUMBER  
**C1.1**  
 PROJECT NUMBER  
**201626**

**LEGEND:**

	EXISTING PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	TEMPORARY BENCHMARK
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER SERVICE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING TREE
	CLEANOUT
	EXISTING CONCRETE SIDEWALK



**SPECIFIC NOTES:**  
 1. THIS PARK PROPERTY IS IN THE VICINITY (LOCATED SOUTH EAST) OF VALLEY CREEK. THE WHOLE PARK PROPERTY IS WITHIN THE FLOOD HAZARDOUS ZONE AE.  
 2. PROPOSED WORK (NEW RESTROOM AND ADA COMPLIANT SIDEWALK) IS WITHIN THE FLOOD HAZARDOUS ZONE AE.

**SITE DATA:**  
 1. SITE ADDRESS - 916 WASHINGTON AVE S.W. BIRMINGHAM, AL 35211  
 2. OWNER - CITY OF BIRMINGHAM, AL ADDRESS - 710 NORTH 20TH STREET BIRMINGHAM, AL 35203  
 3. THE PROPERTY IS LOCATED IN THE NE 1/4 OF SECTION 4, T18S, R3W.  
 4. SEE THE SURVEY FOR MORE INFORMATION.  
 5. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 01073C03886, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006 AND THE PARK PROPERTY IS IN FLOOD ZONE AE.  
 FLOOD ZONE DETAILS SHOWN BELOW:  
 a. FLOOD ZONE AE - FLOOD HAZARDOUS AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (WITHIN THE 100 YEAR FLOODPLAIN)  
 b. FLOOD ZONE AE - BASE FLOOD ELEVATION IS DETERMINED.  
 6. BASE FLOOD ELEVATION AS PER THE FLOOD INSURANCE STUDY (01073C03886) - 543.80'

**NOTES:**  
 1. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING APPROPRIATE EROSION/SEDIMENTATION CONTROL DURING ALL PHASES OF CONSTRUCTION.  
 2. THE CONTRACTOR SHALL CONDUCT GRADING OPERATIONS TO PREVENT STANDING WATER CONDITIONS.  
 3. ALL GRASS AREAS, INCLUDING T.O.W. AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITIES SHALL BE GRASSED/SEEDING AS PER CITY OF BIRMINGHAM STANDARDS.  
 4. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING MULCH AND DEBRIS OFF CITY STREETS AND RIGHT OF WAY. CLEAN UP IS REQUIRED DAILY.  
 5. THE SLOPE AND CROSS SLOPE OF ADA COMPLIANT SIDEWALKS SHALL BE LESS THAN 5% AND 2% RESPECTIVELY. TRANSITIONS FROM THE SIDEWALK TO WALKING TRAILS, PAVILIONS, PLAYGROUNDS ETC. SHALL BE FLUSH AND FREE OF LEVEL CHANGES.  
 6. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.  
 7. THE HORIZONTAL SEPARATION BETWEEN THE SANITARY SEWER SERVICE & WATER SERVICE SHALL NOT BE LESS THAN 10 FEET.  
 8. WHEN THE WATER SERVICE CROSS THE SANITARY SEWER SERVICE, THE VERTICAL SEPARATION BETWEEN THE SANITARY SEWER MAIN/SERVICE & WATER SERVICE SHALL NOT BE LESS THAN 1 FOOT AND THE WATER SERVICES SHALL BE ABOVE THE SANITARY SEWER SERVICES AT ALL POINTS.  
 9. UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL HAVE ALL UTILITIES FIELD LOCATED PRIOR TO CONSTRUCTION.

10. ALL MATERIALS, PRODUCTS, AND CONSTRUCTION WORK RELATED TO UTILITIES SHALL BE COMPLIANT WITH STANDARDS OF RELEVANT UTILITY AGENCIES.  
 11. IF TESTS INDICATES THAT WORK DOES NOT MEET THE REQUIREMENTS OF THE RELEVANT UTILITY AGENCY, THE CONTRACTOR SHALL REMOVE AND REPLACE UNSATISFACTORY WORK AND RETEST AT CONTRACTORS OWN EXPENSES.  
 12. THE CONTRACTOR SHALL CONDUCT GRADING & CONSTRUCTION OPERATIONS TO AVOID ANY DRAINAGE ISSUES DUE TO CONSTRUCTION OPERATIONS.  
 13. THE CROSS SLOPE OF SIDEWALKS AROUND THE RESTROOM BUILDING SHALL SLOPE AWAY FROM THE BUILDING TO AVOID DRAINAGE ISSUES AT THE BUILDING.  
 14. VARIANCE IS ALREADY APPROVED. FFE IS BASED ON GRADES OF EX. SIDEWALK ELEVATIONS NEAR THE PROPOSED RESTROOM.

**SITE LAYOUT/GRADING/UTILITY PLAN - A. G. GASTON PARK IMPROVEMENTS**

SCALE: 1" = 20'

