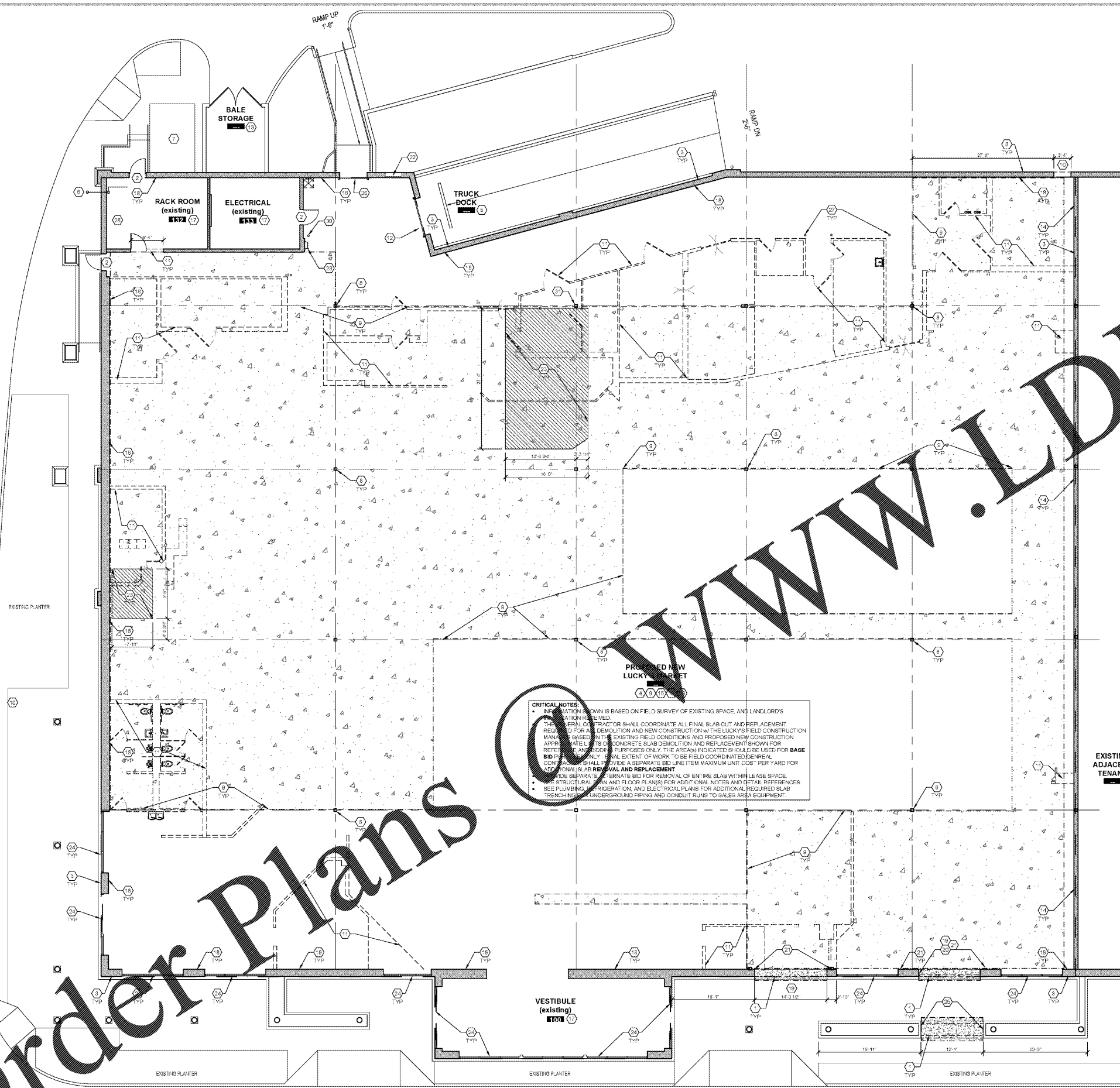


Order Plans

01 DEMOLITION FLOOR PLAN (existing conditions)

SCALE: 1/8" = 1'-0"



CRITICAL NOTES: INFORMATION SHOWN IS BASED ON FIELD SURVEY OF EXISTING SPACE AND LANDLORD'S INFORMATION PROVIDED. THE GENERAL CONTRACTOR SHALL COORDINATE ALL FINAL SLAB CUT AND REPLACEMENT REQUIRED FOR ALL DEMOLITION AND NEW CONSTRUCTION WITH THE LUCKY'S FIELD CONSTRUCTION MANAGER BASED ON THE EXISTING FIELD CONDITIONS AND PROPOSED NEW CONSTRUCTION. APPROPRIATE LISTS OF CONCRETE SLAB DEMOLITION AND REPLACEMENT SHOWN FOR REFERENCE AND RECORD PURPOSES ONLY. THE AREAS INDICATED SHOULD BE USED FOR BASE BID. CONTRACTOR SHALL VERIFY THE EXTENT OF WORK TO BE FIELD COORDINATED. GENERAL CONTRACTOR SHALL PROVIDE A SEPARATE BID LINE ITEM MAXIMUM UNIT COST PER YARD FOR CONCRETE SLAB REMOVAL AND REPLACEMENT. CONTRACTOR SHALL PROVIDE A SEPARATE BID FOR REMOVAL OF ENTIRE SLAB WITHIN LEASE SPACE. SEE STRUCTURAL PLAN AND FLOOR PLANS FOR ADDITIONAL NOTES AND DETAIL REFERENCES. SEE PLUMBING, REFRIGERATION, AND ELECTRICAL PLANS FOR ADDITIONAL REQUIRED SLAB TRENCHES, UNDERGROUND PIPING AND CONDUIT RUNS TO SALES AREA EQUIPMENT.

NOTE: SEE SHEET A2.1 FOR EXTERIOR ELEVATION DEMOLITION NOTES REGARDING REMOVAL OF EXTERIOR FINISHES.

LEGEND:
- Existing walls to remain (solid line)
- Existing wall to be demolished (dashed line)
- Existing area to be demolished (hatched)
- Existing slab to be removed (stippled)
- Existing slab to be removed (cross-hatched)

GENERAL NOTES

- A. EXTERIOR WORK RELATED TO NEW TENANT SPACE TO BE COMPLETED BY GENERAL CONTRACTOR...
B. GENERAL CONTRACTOR SHALL FULLY COORDINATE TO ENSURE THAT WORK DEPENDENT ON EACH OTHER IS PROPERLY SEQUENCED AND EXECUTED...
C. DEMOLITION WORK NOTED SHALL BE COMPLETED BY GENERAL CONTRACTOR...
D. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURAL SUPPORT OF THE EXISTING BUILDING DURING DEMOLITION AND REMOVAL OF ALL BUILDING SYSTEMS...
E. GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFE REMOVAL, STORAGE & INSTALLATION OF ALL EQUIPMENT DENOTED AS EXISTING OR RELOCATED...
F. FIRE EXTINGUISHERS SHALL BE AVAILABLE ON PREMISES AT ALL TIMES...
G. BURNING OF MATERIALS ON SITE IS NOT PERMITTED...
H. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED TO COMPLETE THE NEW CONSTRUCTION...
I. REMOVE AND SECURE GAS, PLUMBING, ELECTRICAL, AND OTHER UTILITIES ASSOCIATED WITH EQUIPMENT REMOVED FROM THE SITE...
J. PREVENT PUBLIC ACCESS TO THE WORK AREA...
K. PROVIDE TEMPORARY FLYWOOD DOORS AND CLOSURES...
L. COORDINATE ALL DEMOLITION ACTIVITIES WITH THE LUCKY'S MARKET TRADER...
M. DEMOLITION WORK SHALL BE LIMITED TO NEW ROOF TOP EQUIPMENT AND SERVICES EXISTING ON THE EXISTING ROOF...
N. COORDINATE ALL NEW ROOF WORK WITH THE LANDLORD AND LUCKY'S CONSTRUCTION MANAGER.

KEYED NOTES

- 1. SAW CUT AND REMOVE EXISTING WALLS NECESSARY...
2. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN...
3. VERIFY COORDINATE WITH LANDLORD REPRESENTATIVE ON SITE...
4. SEE MECHANICAL CEILING PLAN FOR ADDITIONAL NOTES...
5. EXISTING EXTERIOR TRUCK DOCK AREA TO REMAIN...
6. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN...
7. EXISTING STRUCTURAL COLUMNS TO REMAIN...
8. GENERAL CONTRACTOR TO SAW CUT, EXCAVATE AND REPLACE ALL CONCRETE SLAB...
9. EXISTING TRUCK DOCK DOORS, LEVELER, AND DOCK SEAL TO REMAIN...
10. EXISTING DEMISING WALL TO REMAIN...
11. EXISTING EXTERIOR DUMPSTER AREA TO REMAIN...
12. EXISTING DEMISING WALL TO REMAIN...
13. EXISTING TRUCK DOCK DOORS, LEVELER, AND DOCK SEAL TO REMAIN...
14. EXISTING EXTERIOR DUMPSTER AREA TO REMAIN...
15. EXISTING DEMISING WALL TO REMAIN...
16. EXISTING EXTERIOR WALL TO REMAIN...
17. REMOVE EXISTING EXTERIOR WALL AS REQUIRED...
18. REMOVE EXISTING STOREFRONT SYSTEM AND GLAZING...
19. REMOVE EXISTING FINISH MATERIALS...
20. EXISTING COMPACTOR CHUTE DOOR TO REMAIN...
21. EXCAVATE SUB-GRADE AS REQUIRED...
22. EXISTING STOREFRONT SYSTEM AND GLAZING...
23. REMOVE EXISTING PLANTER WALL...
24. EXISTING ROLL-UP DOOR TO REMAIN...
25. TYPICAL THROUGHOUT: REMOVE ALL INTERIOR PIPE BOLLARDS...
26. SPECIFICALLY IN MOTOR ROOM AND TYPICAL THROUGHOUT SPACE...
27. EXISTING ROOF LADDER TO REMAIN...
28. EXISTING PIPE BOLLARD AT THIS LOCATION TO REMAIN...
29. FIELD VERIFY SIZE AND DEPTH OF EXISTING COLUMN FOOTING...

CRITICAL NOTES:

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO COMPLETE THE PROJECT UNLESS SPECIFICALLY NOTED OTHERWISE. GENERAL CONTRACTOR TO FIELD VERIFY CONDITION OF EXISTING DEMISING WALL... ALL REPAIRS TO THE EXISTING DEMISING WALLS SHALL BE MADE IN ACCORDANCE WITH STANDARD UL DESIGN REQUIREMENTS TO MAINTAIN THE EXISTING ASSEMBLY RATING IN PLACE.

CRITICAL NOTE REGARDING EXISTING EXTERIOR WALLS: GENERAL CONTRACTOR SHALL FIELD VERIFY CONDITIONS OF EXISTING EXTERIOR WALLS PRIOR TO BEGINNING ANY DEMOLITION OR NEW CONSTRUCTION. EXISTING CONSTRUCTION IS ASSUMED TO BE CONCRETE MASONRY EXPOSED IN BACK OF SPACE AND WITH INTERIOR GYP BOARD OVER FURRING AND RIGID INSULATION IN PLACE TIGHT TO THE MASONRY AT FRONT (PUBLIC AREA) WALL. GENERAL CONTRACTOR TO PROTECT AND MAINTAIN EXISTING EXTERIOR WALL BOARD WHERE POSSIBLE EXCEPT FOR INSTALLATION OF NEW SERVICES AS SHOWN. REMOVE ANY REQUIRED FURRING AND INSULATION AS NECESSARY FOR INSTALLATION OF NEW SERVICES AND PATCH AND REPAIR FOR NEW FINISHES. WHERE FLOOR PLAN CALLS FOR NEW FRAMING INSTALL INDEPENDENT OF EXISTING AND BRACE OFF AS REQUIRED BY NEW CONSTRUCTION DETAILS.

EXISTING STRUCTURE: SHELL BUILDING STRUCTURE CONSISTS OF CONCRETE SLAB ON GRADE, STEEL COLUMNS, BEAMS AND GIRDERS SUPPORTING STEEL JOISTS AND METAL DECK. THE ROOF IS ASSUMED TO BE BLACK EPDM MEMBRANE OVER RIGID INSULATION BOARD ON DECK. FIELD VERIFY CLEAR HEIGHT TO BOTTOM OF DECK IS APPROXIMATELY 22'-0" MAX. AFF AT FRONT WALL. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING FIELD DIMENSIONS AND CONDITIONS DURING THE BID. THE PARTITION DIMENSION INFORMATION IS SHOWN AS FOR APPROXIMATE LIMITS OF DEMOLITION AND/OR REMOVAL OF EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL REVIEW EXISTING CONDITIONS WITH THE LUCKY'S MARKET FIELD CONSTRUCTION MANAGER PRIOR TO DEMOLITION. ALL DIMENSIONS SHOWN ARE BASED ON FIELD INFORMATION PROVIDED BY LUCKY'S MARKET FIELD SURVEY OF EXISTING SPACE.

HAZARDOUS MATERIALS NOTE: THE GENERAL CONTRACTOR SHALL PROVIDE AN ALTERNATE BID ADDENDA TO PROVIDE FOR REMEDIATION IN THE CASE THAT HAZARDOUS MATERIALS MAY BE FOUND ON SITE. COORDINATE SCOPE OF ALTERNATE BID WITH THE LUCKY'S CONSTRUCTION MANAGER PRIOR TO SUBMITTING BID. ASBESTOS REMOVAL / REMEDIATION IS NOT INCLUDED AS PART OF THIS PERMIT SUBMISSION AND OR APPROVAL. ANY REQUIRED ASBESTOS REMOVAL AS OUTLINED TO BE REQUIRED SHALL BE COMPLETED UNDER A SEPARATE PERMIT SUBMISSION, REVIEW AND APPROVAL.

UPON COMMENCEMENT OF DEMOLITION, IF ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS, INCLUDING WATER DAMAGE AND/OR MOLD, ARE DISCOVERED THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE OWNER'S REPRESENTATIVE FOR FURTHER INSTRUCTIONS. BEFORE PROCEEDING, ANY HAZARDOUS MATERIALS DISCOVERED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND FEDERAL REGULATIONS.

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