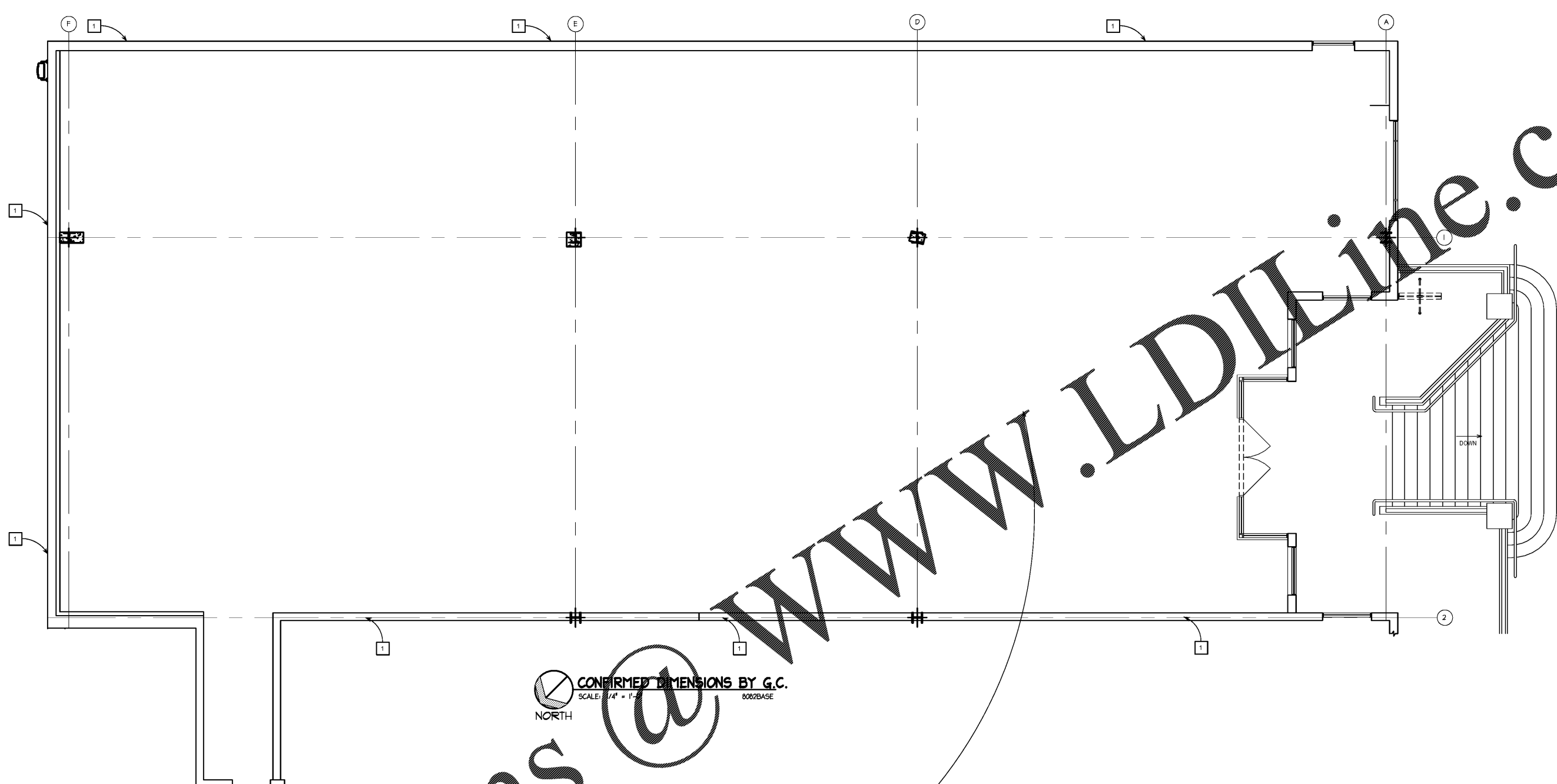


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CONFIRMED DIMENSIONS BY G.C.  
 SCALE: 1/4" = 1'-0"  
 8082BASE  
 NORTH

**DEMOLITION GENERAL NOTES**

- THE AWARDED GENERAL CONTRACTOR PRIOR TO APPLYING ANY HALL TRACK SHALL SUPPLY TO ARCHITECT NEWEXISTING OVERALL DIMENSIONS, ALONG WITH DIMENSIONS FROM COLUMNS TO THE FOUR WALLS TO IDENTIFY FLOOR SPACE.
- G.C. SHALL NOT REMOVE EXISTING DEMISING WALL.
- REVIEW AND LEVEL FLOOR TRANSITION AT REMOVED DEMISING WALL.
- REMOVE ENTIRELY ELECTRICAL SERVICE IN SMALL DEMISED SPACE TO DISTRIBUTION CABINET.
- REMOVE BOTH AREA TOILET ROOM(S) AND TRACE DIRECTION OF SANITARY LINE.
- VERIFY WITH BID DOCUMENTS THE STATUS OF HVAC EQUIPMENT INCLUDING DUCTWORK.
- REMOVE ALL FLOORING FINISHES, NOTED INTERIOR PARTITIONS, CEILINGS, LIGHTING ETC. NOT BEING USED.
- STRUCTURAL COLUMNS HAVE A FIREPROOFING SPRAY APPLIED AND REPAIR AFTER DEMOLITION WILL BE REQUIRED.
- THE ENTIRE STOREFRONT FROM VERTICAL DEMISING WALLS, ALONG WITH FASCIA HEIGHT AS NOTED TO BE REMOVED.

1 EXISTING TENANT LEASE LINE AS PER SITE SURVEY- DEFINED BY THE CENTERLINE OF THE DEMISING WALL ON EITHER SIDE OF THE LEASE SPACE, THE EXTERIOR OF THE REAR DEMISING WALL AND THE EXTERIOR OF THE STOREFRONT ENTRY/WINDOW AREA.

THIS DRAWING IS FOR COORDINATION PURPOSES OF ALL CONSTRUCTION ELEMENTS IN THE CEILING PLANE AND ABOVE PRIOR TO CONSTRUCTION START UP. THIS DRAWING IS TO BE USED BY THE GENERAL CONTRACTOR TO IDENTIFY ANY AND ALL CONFLICTS PRIOR TO CONSTRUCTION BETWEEN DUCTWORK, SPRINKLER LINES, ELECTRICAL CONDUIT, CEILING HEIGHTS, EQUIPMENT REQUIRING ACCESS, LIGHTING, DIFFUSERS, SPEAKERS, SPRINKLER HEADS, ACCESS PANELS, STRUCTURAL ELEMENTS, ETC. THE GENERAL CONTRACTOR IS TO NOTIFY ARCHITECT AND THE CONSTRUCTION MANAGER IN WRITING PRIOR TO CONSTRUCTION START OF ANY ACCESS PANELS REQUIRED. ADDITIONALLY THE GENERAL CONTRACTOR SHALL RETURN THIS SHEET SIGNED DATED AND MARKED WITH ALL CONFLICTS CLEARLY SHOWN ALONG WITH ALL ACCESS PANEL LOCATIONS REQUIRED AND THE SIZES OF THOSE ACCESS PANELS. THE GENERAL CONTRACTOR SHALL NOT PERFORM ANY WORK TO RESOLVE THOSE CONFLICTS UNTIL A RESOLUTION HAS BEEN GIVEN BY THE ARCHITECT AND OR THE CONSTRUCTION MANAGER. IF NO NOTIFICATION IS GIVEN AND THIS DRAWING IS NOT RETURNED SIGNED AND NOTED AS TO THE CONFLICTS AND ACCESS PANELS REQUIRED; THE GENERAL CONTRACTOR SHALL ASSUME THE RESPONSIBILITY, COST AND REQUIRED WORK AS DIRECTED BY THE ARCHITECT AND OR CONSTRUCTION MANAGER TO RESOLVE THOSE CONFLICTS. THIS DRAWING SHALL NOT TAKE THE PLACE OF ANY OTHER ARCHITECTURAL MECHANICAL, PLUMBING ELECTRICAL STRUCTURAL ETC. DRAWING THAT IS INCLUDED IN THE CONSTRUCTION SET. PLEASE REFER TO CONSTRUCTION DRAWINGS FOR NOTES DIMENSIONS DETAILS ETC. FOR ALL ELEMENTS IN THE CEILING PLANE AND ABOVE.

GENERAL CONTRACTOR TO SIGN DATE AND RETURN. ISSUED \_\_\_\_\_

**KEN NISCH AIA**  
 1110 Inkster Road  
 Suite 200  
 Southfield, MI 48034 USA  
 248.355.0890  
 248.355.0895 Fax

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Certification:  
 KENNETH E. NISCH, AIA  
 No. 5090  
 EXPIRATION DATE: 06.30.2018

DATE SIGNED: 03.30.2018

Consultants:  
**RETAL DESIGN CONSULTANT**

**JGA inc**  
 28355 Northwestern Hwy  
 Suite 300  
 Southfield, MI 48034 USA  
 248.355.0890  
 248.355.0895 Fax  
 www.jga.com

JGA Prj #: 1-218-082

Project Location:  
**Soft Surroundings**  
**BILTMORE VILLAGE, SPACE #160**  
 10 BROOK STREET  
 ASHEVILLE, TN 28803

- DRAWINGS ISSUED FOR:
- programming
  - schematic des.
  - design dev.
  - bidding
  - permit/LL review 04-06-18
  - construction

REVISIONS:

Prj. no. **8-218-030**  
 Drawn IN, GV  
 Checked KR, GV  
 Approved KN

Do not scale this print. Use figured dimensions only.

Drawing title:  
**CONFIRMED DIMENSIONS BY G.C.**

Sheet no.  
**D-1.2**

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