

# Firebirds Peachtree Corners

5215 Town Center Blvd  
Suite 650  
Peachtree Corners, GA 30092

## CONTACT INFORMATION

DEVELOPER: RIQUA DEVELOPMENT LP  
BUILDING OWNER/LANDLORD: FIFTEEN PIEDMONT CENTER  
CLIENT / TENANT: KEVIN FLOYD  
BUILDING OWNER: FIREBIRDS INTERNATIONAL, LLC  
TENANT COORDINATOR: ALVIN HOOD  
DESIGNER: STARR DESIGN  
STEVEN STARR  
MIMI WILLIAMS

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## Firebirds Peachtree Corners

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Suite 650  
Peachtree Corners, GA 30092



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### GENERAL NOTES

- 1) DO NOT SCALE DRAWINGS. IF IN QUESTION OBTAIN CLARIFICATION FROM ARCHITECT.
- 2) REFER TO SPECIFICATIONS MANUAL FOR SPECIFICATIONS AND EQUIPMENT CUTSHEETS.
- 3) IF CONFLICTS/DISCREPANCIES ARE NOTED BETWEEN DRAWINGS AND/OR SPECIFICATIONS THE MOST STRINGENT SHALL APPLY. SEE SPECIFICATIONS ARTICLE 1.1.6. NOTIFY ARCHITECT IMMEDIATELY.
- 4) UNLESS NOTED OTHERWISE CONTRACTOR IS TO PROVIDE EVERYTHING DEPICTED IN THESE DOCUMENTS.
- 5) ONCE INITIAL BUILDING PERMIT IS OBTAINED, ALL REVISIONS WILL BE ISSUED TO THE CONTRACTOR SIGNED AND SEALED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESUBMIT REVISIONS TO PREVIOUSLY APPROVED PLANS TO ALL APPLICABLE JURISDICTIONS WHERE NECESSARY.
- 6) ALL TRADES SHOULD REVIEW ALL SHEETS IN CONSTRUCTION DOCUMENT SET FOR COORDINATION PURPOSES.
- 7) ALL INTERIOR FINISHES TO MEET REQUIREMENTS OF TABLE B03.3 IN THE 2012 IBC BUILDING CODE.
- 8) ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK IN THE AREA. IF ARCHITECT IS NOT NOTIFIED, CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY PROBLEMS RELATED TO INCORRECT DIMENSIONS.
- 9) CONTRACTOR TO LAUNCH ALL WALLS, STRUCTURE, CEILING, MILLWORK, EQUIPMENT, FIXTURES, & FURNITURE PRIOR TO UNDER SLAB WORK AND/OR FRAMING. VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT IMMEDIATELY OF ALL DISCREPANCIES/CONFLICTS.
- 10) CONTRACTOR TO REMOVE OR PROTECT ADJACENT ELEMENTS, FINISHES, COVER PLATES, FURNITURE, ETC. FROM APPLIED FINISH. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING, PATCHING, ADHESIVES OR FINISH FROM ANY ITEM NOT SCHEDULED TO RECEIVE APPLIED FINISH.
- 11) FINISHES AND HARDWARE DAMAGED DURING CONSTRUCTION & INSTALLATION ARE TO BE REPAIRED & FINISHED TO MATCH EXISTING.
- 12) CONTRACTOR TO PROVIDE FIELD DIMENSIONS AND CONFIRM DIMENSIONS FOR ALL SHOP DRAWINGS INCLUDING BUT NOT LIMITED TO MILLWORK, CASEWORK, STOREFRONT, ARTWORK, RAILINGS, KITCHEN EQUIPMENT, FURNISHINGS, & ROLL DOWN GRILLS.
- 13) FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS.
- 14) REFERENCE STRUCTURAL DRAWINGS FOR ALL BEAM SIZES, WIND SHEAR BRACING AND ALL OTHER STRUCTURAL REQUIREMENTS.
- 15) REFER TO LANDSCAPE CIVIL DESIGN DRAWINGS FOR GRADING, PLANTING, SIDEWALK, DRIVEWAY, IRRIGATION, AND RELATED SITE DETAILS WHEN APPLICABLE.
- 16) REFERENCE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SPECIFICATIONS AND CIRCUITING. REFERENCE ARCHITECTURAL REFLECTED CEILING PLANS FOR LIGHT FIXTURE LOCATION & MOUNTING HEIGHTS.
- 17) REFER TO KITCHEN DRAWINGS FOR ALL FOOD SERVICE EQUIPMENT.
- 18) WHERE MATERIALS ARE APPLIED TO, OR IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- 19) CONTRACTOR TO PROVIDE STIFFENERS, BRACINGS, BACKING PLATES AND BRACING REQUIRED FOR SECURE INSTALLATION OF BUT NOT LIMITED TO: TOILET PARTITIONS, DOORS AND DOOR HARDWARE INCLUDING WALL-MOUNTED DOOR STOPS, HANDRAILS, WALL-MOUNTED SHELVES, OPERABLE PARTITIONS, KNEE WALLS, MISCELLANEOUS EQUIPMENT, AND SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
- 20) ALL NEW AND EXISTING PENETRATIONS THROUGH AND WITHIN RATED FIRE ASSEMBLIES SHALL BE SEALED AND PROTECTED WITH THE APPLICABLE UL RATED PENETRATION ASSEMBLIES IN ACCORDANCE WITH APPLICABLE CODES AS INTERPRETED AND APPROVED BY THE LOCAL GOVERNING AUTHORITIES.
- 21) ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- 22) ALL SUPPLY & RETURN GRILLS, AS WELL AS OPEN DUCT WORK, NEW OR EXISTING TO REMAIN, SHALL BE COVERED OR PROTECTED WITH FILTER MEDIA AS REQUIRED TO PROTECT HVAC SYSTEM DURING DEMOLITION AND CONSTRUCTION EVEN IF SYSTEM IS NOT IN USE.

### SPECIAL INSPECTIONS:

A SPECIAL INSPECTION AND TESTING PROGRAM SHALL BE PROVIDED BY THE GENERAL CONTRACTOR IN ACCORDANCE WITH CHAPTER 17 OF THE 2012 IBC AND THE PROJECT MANUAL. THE GENERAL CONTRACTOR SHALL COORDINATE AN INSPECTION AND TESTING. THE OWNER SHALL CONTRACT WITH THE TESTING AGENCY. THE GENERAL CONTRACTOR SHALL FACILITATE A MEETING WITH THE TESTING AGENCY, OWNER AND BUILDING INSPECTOR TO REVIEW AND DETERMINE ALL TESTING AND INSPECTION PROTOCOLS.

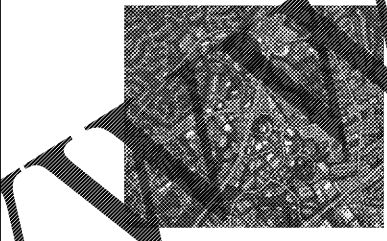
### PROJECT SCOPE:

- THIS IS A NEW ONE STORY RESTAURANT TENANT UPPFIT WITHIN A NEW SHELL RETAIL SHOPPING CENTER:
- 1. UPPFIT AREA = 6,500 SF & 516 SF COVERED PATIO AREA
- 2. EXTERIOR SHELL PROVIDED BY LANDLORD
- 3. PATIO STRUCTURE, CHIMNEY & NEW STOREFRONT WINDOWS PROVIDED BY TENANT
- 4. ALL UTILITIES ARE STUBBED WITHIN THE SPACE BY LANDLORD PER LEASE TO INCLUDE:
  - A. ELECTRICAL - 1200 AMP 120/208V-3 PHASE SERVICE
    - 1. 3 EMPTY 4" DIA. CONDUITS FROM LL PROVIDED TRANSFORMER TO MDP
    - 2. PROVIDED METER/METER SOCKET & CT CABINET AS REQUIRED BY JURISDICTION
    - 1 HOUSE PANEL FOR SHELL ELECTRICAL WORK
  - B. GAS - GAS METER W/ MIN 3600 cfm @ 2lb OF PRESSURE STUBBED INTO SPACE & UP TO ROOF
  - C. WATER - 2" DEDICATED DOMESTIC WATER LINE W/BACKFLOW PREVENTER (70 GALLONS PER MINUTE AT 15 PSI)
    - 2" WATER METER
  - D. TELEPHONE - 2 EMPTY 2" CONDUITS FROM LL TELEPHONE DISTRIBUTION AREA
  - E. SANITARY SEWER - 4" SS LINE STUBBED INTO PREMISE
    - 4" GREASE LADEN SEWER LINE
    - GREASE TRAP - MIN 1550 GALLON GREASE INTERCEPTOR
    - F. STORM SEWER - ROOF AND SITE DRAINAGE PROVIDED BY LANDLORD.
- 5. LANDLORD IS PROVIDING ALL SITE WORK & BUILDING SHELL:
  - A. LANDSCAPING
  - B. SIDEWALKS
  - C. PARKING LOT
  - D. PARKING LOT LIGHTING
- 6. SERVICE YARD, DUMPSTER PAD & ENCLOSURE PROVIDED BY LANDLORD.
- 7. ROOF TOP SCREENING PROVIDED BY LANDLORD.

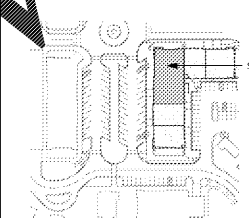
APPLICABLE FIRE CODES:  
-2012 GWINNETT COUNTY ORDINANCE FOR FIRE PREVENTION AND PROTECTION ORDINANCE  
-THE CURRENT EDITION OF THE NFPA CODES AND STANDARDS AS ADOPTED AS MODIFIED BY THE STATE FIRE MARSHAL  
-NFPA 701 LIFE SAFETY CODE 2012 EDITION  
-INTERNATIONAL FIRE CODE, 2012 EDITION  
-2010 ADA STANDARD FOR ACCESSIBLE DESIGN

OCCUPANCY CLASSIFICATION: ASSEMBLY, A2  
TYPE OF CONSTRUCTION: INTERIOR TYPE III, STRUCTURE CONSTRUCTION - III  
SPRINKLERED: YES  
FIRE ALARM: YES  
BUILDING AREA: SQUARE FEET UPPFIT = 6,500, COMPLETE SHELL BUILDING = 16,463  
NUMBER OF FLOORS: 2  
CALCULATED OCCUPANCY: 107 IN THE PATIO. REFERENCE SHEET G1.01, LIFE SAFETY PLAN

## VICINITY PLAN



## KEY PLAN



## SYMBOLS LEGEND

Legend symbols for exterior elevation markers, interior elevation markers, detail markers, room designations, and various construction symbols like door, window, and key notes.

## ABBREVIATIONS

Table of abbreviations used in the drawings, including terms like ABV (above), F.F. (face of finish), and various material and construction codes.

Table of abbreviations (continued), including terms like GA (gauge), MID (medium), RAD (radius), and various construction and material codes.

## CONSTRUCTION DOCUMENTS

05/10/2018

Table with columns: No., Description, Date. Lists construction documents P1.01 to P4.01.

Table with columns: No., Description, Date. Lists mechanical documents M1.01 to M4.03.

Table with columns: No., Description, Date. Lists electrical documents E1.01 to E4.02.

## COVER SHEET

# GO.01