

GRAPHIC SYMBOLS

- DOOR NUMBER refer door schedule
- WINDOW SYMBOL refer window schedule; window type A
- OFFICE
- ROOM NAME & NUMBER
- SUPPLEMENTAL DRAWING see project manual
- INTERIOR ELEVATION SYMBOL see elevation 01 sheet A1.1
- PARTITION TYPE refer legend; partition number 10
- SHEET NOTE SYMBOL see note 01 of sheet notes
- BUILDING SECTION SYMBOL see section 01 sheet A5.1
- SECTION CUT SYMBOL see section 01 sheet A5.3
- MATCH LINE & SYMBOL see sheet A1.1
- EXTERIOR ELEVATION SYMBOL see elevation 01 sheet A2.1
- DETAIL AREA SYMBOL see detail 01 sheet A7.1
- REVISION TO DRAWING SYMBOL see revision 01 on sheet revision log

ABBREVIATIONS

|                |            |                                 |                             |                         |               |               |                    |                       |                          |                 |                 |          |               |           |              |            |             |               |         |                   |                   |             |             |                |                      |              |              |              |                   |                                      |                |             |            |                  |             |                           |                           |              |            |               |                 |                    |                             |                                |                 |                |                |                 |            |               |              |                             |            |                |              |               |               |                       |              |         |              |             |                      |         |              |                                       |                    |                |                 |                |               |                      |                  |               |          |             |                           |             |               |              |                         |                |                      |               |                              |                         |                           |                  |                 |          |            |               |             |                   |                      |                    |                     |                  |                     |                                   |            |               |          |                 |             |                    |                       |            |                         |              |         |                 |                  |                     |           |   |                    |                     |                         |                      |             |                  |                      |                 |            |             |            |           |              |                     |                   |                |          |                |              |              |              |                        |                       |              |               |          |             |               |             |                  |                           |                 |                |                        |             |             |                    |            |                    |                     |             |                     |           |             |           |                  |                  |                     |  |                                     |                          |             |             |                   |              |                       |                        |                        |             |           |                |                            |                            |                    |                        |               |             |                |         |               |            |                |                             |               |                         |                              |                           |               |               |                           |             |               |         |                        |                  |                  |                   |                     |                     |              |                |             |                     |            |                        |           |                    |          |              |             |                  |                |                |         |          |                |               |                       |                 |                 |                  |                    |                  |                 |                |             |            |           |                            |             |               |                            |                |                |                          |                         |              |                 |         |              |           |          |                        |               |               |                 |                 |
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| AB Anchor Bolt | ACC Access | ACI American Concrete Institute | ADD Acoustical Ceiling Tile | AF Above Finished Floor | AL Alternates | ALUM Aluminum | APPROX Approximate | ARCH Architect (ural) | B&B Bagged and Burlapped | BC Back to Back | BC Base of Curb | BD Board | BLDG Building | BLK Black | BM Benchmark | BNT Bottom | BRK Bearing | BSMT Basement | BT Bent | BUR Built-up Roof | BW Bottom of Wall | CAB Cabinet | CAL Caliper | CB Catch Basin | C/C Center to Center | CD Core Deck | CF Curb Foot | CHAN Channel | CI Cast Iron Pipe | CJ Construction or Contraction Joint | CL Center Line | CLG Ceiling | CLO Closet | CLC Clear (ance) | CLS Closure | CMF Corrugated Metal Pipe | CMU Concrete Masonry Unit | CO Clean Out | COL Column | CONC Concrete | CONN Connection | CONST Construction | CONT Continuous or Continue | CONTR Contractor or Contractor | CPZ Carpet (ed) | CRS Course (s) | CS Countersink | CT Ceramic Tile | CTR Center | CY Cubic Yard | D DBL Double | DEM Dismantle or Demolition | DET Detail | DH Double Hung | DIA Diameter | DIAG Diagonal | DIM Dimension | DIP Ductile Iron Pipe | DL Dead Load | DR Door | DS Downspout | DWG Drawing | DF Drinking Fountain | EA Each | EF Each Face | EIS Exterior Insulation Finish System | EJ Expansion Joint | ELEV Elevation | ELEC Electrical | EMER Emergency | ENGR Engineer | EOP Edge of Pavement | EQ Edge of Slope | EQN Elevation | EQ Equal | EW Each Way | EWC Electric Water Cooler | EZH Exhaust | EXP Expansion | EXT Exterior | FBO Furnished by Others | FD Floor Drain | FE Fire Extinguisher | FA Fire Alarm | FFC Finished Floor Elevation | FFL Finished Floor Line | FHC Fire Hose and Cabinet | FFL Face to Face | FIN Finish (ed) | FL Floor | FLG Flange | FO Foundation | FOC Face of | FOB Face of Brick | FOC Face of Concrete | FOF Face of Finish | FOM Face of Masonry | FOS Face of Slab | FR Frame (ed) (ing) | FRP Fiberglass Reinforced Plastic | FF Footing | GL Glaze/Glue | GA Gauge | GALV Galvanized | GB Grab Bar | GI Galvanized iron | GNB Gypsum Wall Board | GYP Gypsum | HC Hollow Core/Handicap | HDW Hardware | HE Hook | HM Hollow Metal | HORIZ Horizontal | HP High Pressure/HV | HT Height | HVAC Heating/Ventilating/Air Conditioning | ID Inside Diameter | IS Invert Elevation | IHS Inside Face of Stud | ISOL Isolation Joint | IN Inch(es) | INSUL Insulation | JAN Janitor's Closet | JG Joint Gilder | COL Column | JOINT Joint | K Thousand | GP 1000 # | KJ Key Joint | KS 1000 # per sq in | LAM Laminated (d) | LF Linear Foot | L Length | LAB Laboratory | LAV Lavatory | LH Left Hand | LL Live Load | LH Long Leg Horizontal | LLV Long Leg Vertical | LP Low Point | LG Light Gage | LT Light | MAS Masonry | MATL Material | MAX Maximum | MC Misc. Channel | MCJ Masonry Control Joint | MECH Mechanical | MEZZ Mezzanine | MANUF Manufacture (er) | MH Mainline | MIN Minimum | MISC Miscellaneous | MIR Mirror | MO Masonry Opening | MT Mount (ed) (ing) | MUL Mullion | NIC Not in Contract | NO Number | NOM Nominal | NTD Noted | NTS Not to Scale | OC On Center (s) | OD Outside Diameter | OPI Owner Furnished Contractor Installed | OPO Owner Furnished Owner Installed | OIS Outside Face of Stud | OH Overhead | OPG Opening | OPH Opposite Hand | PAR Parallel | PC Point of Curvature | PL Property Line, Plot | PLAM Plastic Laminated | PNT Premade | PNL Panel | PNT Paint (ed) | PSF Pounds Per Square Inch | PT Paint/Pressure Treated/ | PV Pave (d), (ing) | PVC Polyvinyl Chloride | PVMT Pavement | PWD Plywood | QT Quarry Tile | R Riser | RA Return Air | RAD Radius | RB Rubber Base | RC Reinforced Concrete Pipe | RD Roof Drain | REBAR Reinforcement Bar | REF Refrigerator / Reference | REIN Reinforce (d), (ing) | REQD Required | RET Retaining | REV Revision (s), Revised | RFG Roofing | RH Right Hand | RM Room | RFM Reinforced Masonry | RO Rough Opening | ROW Right of Way | RTU Roof Top Unit | RVS Reversed (side) | SCW Solid Core Wood | SCH Schedule | SD Storm Drain | SEC Section | SH Shear, Sheathing | SM Similar | SPEC Specification (s) | SQ Square | SS Stainless Steel | ST Steel | STL Standard | STR Storage | STRUC Structural | SV Shear Vinyl | SV Square Yard | T Tread | T Top of | TC Top of Curb | TEL Telephone | T&G Tongue and Groove | TH Thick (ness) | TOB Top of Slab | TS Tubular Steel | TOF Top of Footing | TOJ Top of Joint | TOS Top of Slab | TW Top of Wall | TYP Typical | TZ Terazzo | UR Urinal | UNO Unless Noted Otherwise | VAR Varnish | VB Vinyl Base | VBC Vinyl Composition Tile | VCT Vinyl (ed) | VJ Vinyl Joint | VJC Vinyl Joint Covering | W Washer/Wash/Wide Head | WB Wood Base | WC Water Closet | WD Wood | WH Wall Hung | WI Window | WIP Weir | WSCD Welded Wire Cloth | W Welded Wire | W Welded Wire | W/W Welded Wire | W/W Welded Wire |
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BUILDING CODE SUMMARY

PROJECT NAME: Burger King Renovation  
 ADDRESS: 154 S Main St, Baxley, GA 31513  
 PROPOSED USE: Existing Fast Food Restaurant  
 OWNER/CONTACT: Premier Kings, Inc. - Patrick Sidhu  
 REFERENCED CODES / JURISDICTION:  
 International Building Code, 2012 -with Georgia Amendments (2014)(2015)  
 International Plumbing Code, 2012 -with Georgia Amendments (2014)(2015)  
 International Mechanical Code, 2012 -with Georgia Amendments (2014)(2015)  
 International Fuel Gas Code, 2012 -with Georgia Amendments (2014)(2015)  
 National Electrical Code, 2017 - with Georgia Amendments

DESIGNER OF RECORD:

| DESIGNER           | NAME           | LICENSE | TELEPHONE      | ADDRESS                               |
|--------------------|----------------|---------|----------------|---------------------------------------|
| ARCHITECTURAL      | JIM HUCKESTEIN | 010016  | (205) 322-1751 | 2126 Morris Ave, Birmingham, AL 35203 |
| ELECTRICAL         | N/A            |         |                |                                       |
| PLUMBING           | N/A            |         |                |                                       |
| MECHANICAL         | N/A            |         |                |                                       |
| STRUCTURAL         | N/A            |         |                |                                       |
| SPRINKLER/SD. PIPE | N/A            |         |                |                                       |
| FIRE ALARM         | N/A            |         |                |                                       |
| FOOD SERVICE       | N/A            |         |                |                                       |

BUILDING DATA:

OCCUPANCY:  ASSEMBLY - A2  BUSINESS  EDUCATIONAL  MERCANTILE  HAZARDOUS  FACTORY  STORAGE  INSTITUTIONAL (UNRESTRAINED)  INSTITUTIONAL (RESTRAINED)  RESIDENTIAL

MIXED OCCUPANCY (YES/NO - SEPARATION): NO

CONSTRUCTION TYPE:  IA  IB  IIA  IIB  IIA  IIB  IVA  V  VB

MIXED CONST. (YES/NO): NO TYPE / CONDITION: EXISTING CONSTRUCTION

SPRINKLED (YES/NO): YES - EXISTING

RRE DISTRICT (YES/NO): NO

BUILDING HEIGHT: EXIST. (TOTAL 18'-6") NUMBER OF STORIES: ONE (1)

MEZZANINE (YES/NO): NO

HIGH RISE (YES/NO): NO

BUILDING AREA: 3,360 SF EXISTING + 0 SF NEW = 3,360 SF TOTAL

AREA INCREASE (YES/NO): NO

IF YES, CALCULATIONS:

FIRE RESISTANCE RATINGS

| TYPE OF BEARING WALLS       | REQ'D HOURLY | DETAIL # & SHEET # | % WALL OPENING | DESIGN # FOR ASSEMBLIES |
|-----------------------------|--------------|--------------------|----------------|-------------------------|
| WEST                        | EXIST        | N/A                | N/L            | N/A                     |
| EAST                        | EXIST        | N/A                | N/L            | N/A                     |
| SOUTH                       | EXIST        | N/A                | N/L            | N/A                     |
| NORTH                       | EXIST        | N/A                | N/L            | N/A                     |
| WEST                        | EXIST        | N/A                | N/L            | N/A                     |
| EAST                        | EXIST        | N/A                | N/L            | N/A                     |
| SOUTH                       | EXIST        | N/A                | N/L            | N/A                     |
| NORTH                       | EXIST        | N/A                | N/L            | N/A                     |
| PARTY/RENEW WALLS:          | EXIST        | N/A                | N/L            | N/A                     |
| INTERIOR WALLS              | EXIST        | N/A                | N/A            | N/A                     |
| BEARING                     | EXIST        | N/A                | N/A            | N/A                     |
| NON-BEARING                 | EXIST        | N/A                | N/A            | N/A                     |
| TENANT SEPARATION           | N/A          | N/A                | N/A            | N/A                     |
| CIG/FLR ASSEMBLY:           | EXIST        | N/A                |                |                         |
| BEAMS:                      | EXIST        | N/A                |                |                         |
| COLUMNS:                    | EXIST        | N/A                |                |                         |
| CIG/ROOF ASSEMBLY:          | EXIST        | N/A                |                |                         |
| VERTICAL SHAFTS:            | N/A          | N/A                |                |                         |
| CHASES - PLEAC:             | N/A          | N/A                |                |                         |
| MIXED OCCUPANCY SEPARATION: | N/A          | N/A                |                |                         |
| TENANT SEPARATION:          | N/A          | N/A                |                |                         |

EXIT REQUIREMENTS:

MAXIMUM DEAD-END CORRIDOR: 20 FEET  
 MAXIMUM TRAVEL DISTANCE TO EXIT: 200 FEET  
 TOTAL OCCUPANT LOAD: NO CHANGE IN EXISTING OCCUPANT COUNT  
 TOTAL EXIT WIDTH REQUIREMENT: EXISTING  
 TOTAL EXIT WIDTH PROVIDED: 102' TOTAL CLEAR

PLUMBING REQUIREMENTS:

OCCUPANT LOAD (50%): NO CHANGE IN EXISTING - 50 % MALE = 45 50 % FEMALE = 45 (EXISTING)

WATERCLOSETS REQUIRED (MEN): 1 (1 PER 75) 45/75 = 0.6 - 1 WATERCLOSETS  
 WATERCLOSETS SUPPLIED (MEN): 1 WATERCLOSETS  
 URINALS SUPPLIED (MEN): 1  
 LAVATORIES REQUIRED (MEN): 1 (1 PER 200) 45/200 = 0.23 - 1 LAVATORY  
 LAVATORIES PROVIDED (MEN): 1 LAVATORIES

WATERCLOSETS REQUIRED (WOMEN): 2 (1 PER 75) 45/75 = 0.6 - 2 WATERCLOSETS  
 WATERCLOSETS SUPPLIED (WOMEN): 2 WATERCLOSETS  
 LAVATORIES REQUIRED (WOMEN): 1 (1 PER 200) 45/200 = 0.23 - 1 LAVATORY  
 LAVATORIES PROVIDED (WOMEN): 2 LAVATORIES

DRINKING FOUNTAINS REQUIRED: 1 (1 PER 500) 89/500 = 0.178 - 1 DRINKING FOUNTAIN  
 DRINKING FOUNTAINS SUPPLIED: 1 SUPPLIED BY RESTAURANT DRINKING FOUNTAIN DRINK SYSTEM  
 SERVICE SINK REQUIRED: 1  
 SERVICE SINK SUPPLIED: 1

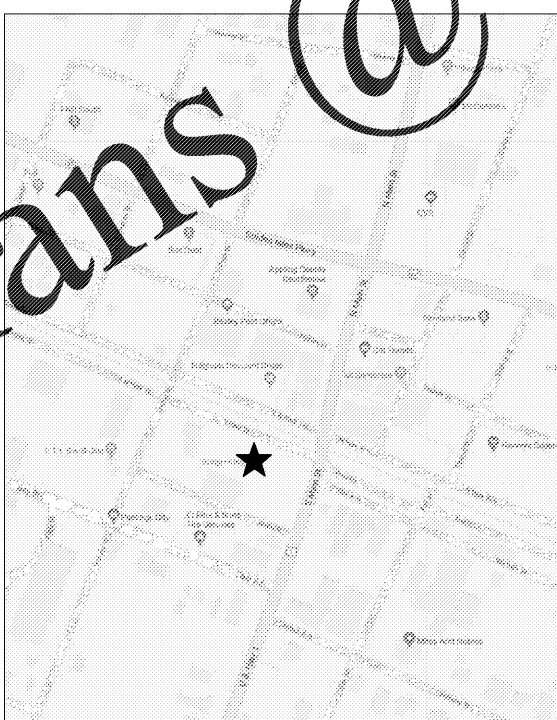
MATERIAL SYMBOLS

- BRICK
- CONCRETE
- PRECAST CONCRETE
- EARTH / UNDISTURBED
- STONE
- GLASS (IN ELEVATION)
- EARTH / COMPACTED FILL
- POROUS FILL (STONE OR SKVALE)
- MARBLE (LARGE SCALE)
- CONCRETE MASONRY UNIT
- INSULATION (LOSSY OR FIRE STOPPING)
- CERAMIC TILE (IN ELEVATION)
- WOOD: ROUGH
- INSULATION: RIGID
- WOOD: FINISH
- WOOD: PLYWOOD
- WOOD: LAMINATED TIMBER
- GYPSUM BOARD
- METAL
- ALUMINUM (LARGE SCALE)

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ON THE SITE ALL DIMENSIONS, EQUIPMENT LOCATIONS AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT PROMPTLY, IN WRITING, IN THE EVENT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE CHASES FOR MECHANICAL, PLUMBING, AND ELECTRICAL AS REQUIRED. SEE RESPECTIVE DRAWING SECTIONS.
- FOR ALL RATED AND SMOKE PARTITIONS, THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET, SWITCH BOX, ETC. SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE OF THE RECESSED OUTLETS, BOXES, ETC. SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. BOXES AND FIXTURES THAT EXCEED INCHES OR 16 SQUARE INCHES THE AGGREGATE AREA LIMITATION SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN THE PARTITION RATING BEHIND THE BOXES OR FIXTURES. RECESSED BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN ROOMS WITH EXPOSED CEILING. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRACES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE TO FACE OF STUD AT INTERIOR STUD WALLS, TO FACE OF FINISH AT EXISTING EXTERIOR WALLS, TO THE CENTERLINE OF COLUMNS AND FACE OF COLUMN FINISH, UNLESS OTHERWISE NOTED. NOTATION ON PLANS TO PROVIDE A "CLEAR" MINIMUM DIMENSION SHALL INCORPORATE THE FINAL FINISH THICKNESS.
- PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS. PATCH AND SEAL PENETRATIONS IN RATED AND SMOKE WALL IN A MANNER WHICH WOULD MAINTAIN THAT WALL'S RATING.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL PLUMBING OR ELECTRICAL ITEM MAY BE REQUIRED. ACCESS PANELS SHALL BE OF THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES. VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES AND CASEWORK WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- SEAL AROUND ALL EXPOSED ROOF PIPING, ETC. TO COORDINATE WITH EXISTING ROOFING SYSTEM.
- REFER TO THE MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS FOR THE LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS AND OTHER ITEMS ON THE ROOF SURFACE.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK IN THE TRADE ON SHEETS TRADITIONALLY NOTED AS WORK OF OTHER TRADES, I.E. THE REQUIREMENT OF PROVIDING POWER TO MECHANICAL OR OTHER EQUIPMENT SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS AND NOT ON THE ELECTRICAL DRAWINGS. THE ARCHITECT WILL COORDINATE THE DESIGN WORK ON THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION.
- PROVIDE 2X6" P.T. WOOD BLOCKING IN THE WALLS FOR DOOR BUMPERS, STOPS, SHELVEING, WALL MOUNTED HARDWARE HANDRAILS, CASEWORK, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS INCLUDING SPECIFIED EQUIPMENT NOTED AS N.I.C.
- WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS A MINIMUM OF 1'-6" BETWEEN THE FACE OF ADJACENT SIDE WALL AND THE CENTERLINE OF THE WATER CLOSET.
- PAINT SURFACES OF HOLLOW METAL DOORS AND FRAMES IN A COLOR AS INDICATED ON THE SCHEDULES, OR IF NOT INDICATED, AS DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN THE APPROPRIATE RATINGS WHERE THERE IS RECESSED WALL MOUNTED EQUIPMENT.
- PATCH AND SEAL PENETRATIONS IN FIRE AND SMOKE WALLS IN A MANNER WHICH WILL MAINTAIN THE WALLS FIRE RATING. FIRE SEAL METHOD USED MUST BE A TESTED UL (UNDERWRITER'S LABORATORIES) PENETRATION ASSEMBLY.
- RESTAURANT TO REMAIN OPEN DURING CONSTRUCTION. G.C. TO COORD. CONSTRUCTION TIMES AND OPERATIONS W/ OWNER AND TO ENSURE ALL SAFETY PRECAUTIONS ARE TAKEN TO ENSURE PATRON AND EMPLOYEE SAFETY.

VICINITY MAP



Order Plans @

PREMIER KINGS, INC.  
 5299 CARMICHAEL RD  
 MONTGOMERY, AL 36117  
 PHONE: (334) 312-0849

DESIGNED BY: JML  
 CHECKED BY: BML  
 EST. NO.:  
 RELEASED FOR CONSTRUCTION

DATE: 05.10.18

2126 Morris Avenue  
 Birmingham, AL 35203  
 Phone: (205) 322-1751  
 Fax: (205) 322-1778  
 email: info@jmlha.com  
 www.jmlha.com

James M. Buckstein  
 architect AIA

architecture • planning • interior design

STATE OF GEORGIA  
 JAMES M. HUCKESTEIN  
 REGISTERED ARCHITECT

05.10.18

PROJECT #1702037  
 IMAGE 05/09 - JULY 2018 STANDARDS

BURGER KING RENOVATION  
 154 S MAIN ST.  
 BAXLEY, GA 31513

CODE INFORMATION