

SITE GENERAL NOTES:

- ALL DIMENSIONS ARE TO OUTSIDE FACE OF CURB & EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- PARKING STALLS TO BE 9' x 18' TYPICAL, UNLESS NOTED OTHERWISE. DESIGNATE HANDICAP STALLS W/ SIGNAGE PER CITY REQUIREMENTS.
- COORDINATE WITH LOCAL UTILITY COMPANIES TO COMPLY WITH ALL APPLICABLE CODES & REGULATIONS.
- G.C. TO REPLACE EXIST. DAMAGED CURBS & CONCRETE PAVING AS REQ'D. - **FIELD VERIFY LOCATION & EXTENT.** G.C. TO PROVIDE 100 LF OF CURB & GUTTER AND 3000 SF OF NEW PAVING IN BASE-BID (IN ADDITION TO ITEMS NOTED BELOW - HC PARKING); G.C. TO PROVIDE UNIFORM PAVING. ADDITIONAL WORK INCLUDING REMOVAL / DUMPING, FINISH PAVING, SEALING, AND STRIPING. (G.C. TO ALSO PROVIDE CURB & GUTTER BASE BID IS NOT USED).
- G.C. IS TO PROVIDE NEW STRIPING & SEALING FOR "LIKE-NEW" FINISH AT ENTIRE PARKING LOT.
- G.C. TO PROTECT EXISTING LANDSCAPING DURING DEMOLITION & CONSTRUCTION; IF DAMAGED G.C. TO PROVIDE NEW STRIPING AT THEIR EXPENSE.
- NEW SIDEWALK SECTIONS TO RECEIVE "FORM FINISH". NEW SECTIONS OF CONCRETE TO BE CONSISTENT, EVEN & MATCH FROM EXISTING W/ COMPRESSIBLE FILLER (SP-15).
- G.C. TO COORD. NEW EQUIP. (SIGN, OCU, MENU, ETC.) W/ SIGN VENDOR TO INSTALL TO COORD. M. ELEC., FOUNDATION, DATA, FOUNDATION, ETC. REQUIREMENTS PRIOR TO INSTALL. OWNER TO PROVIDE LANDSCAPING WORK AS DESIGN-BUILD. G.C. TO COORDINATE.

SITE KEYNOTES:

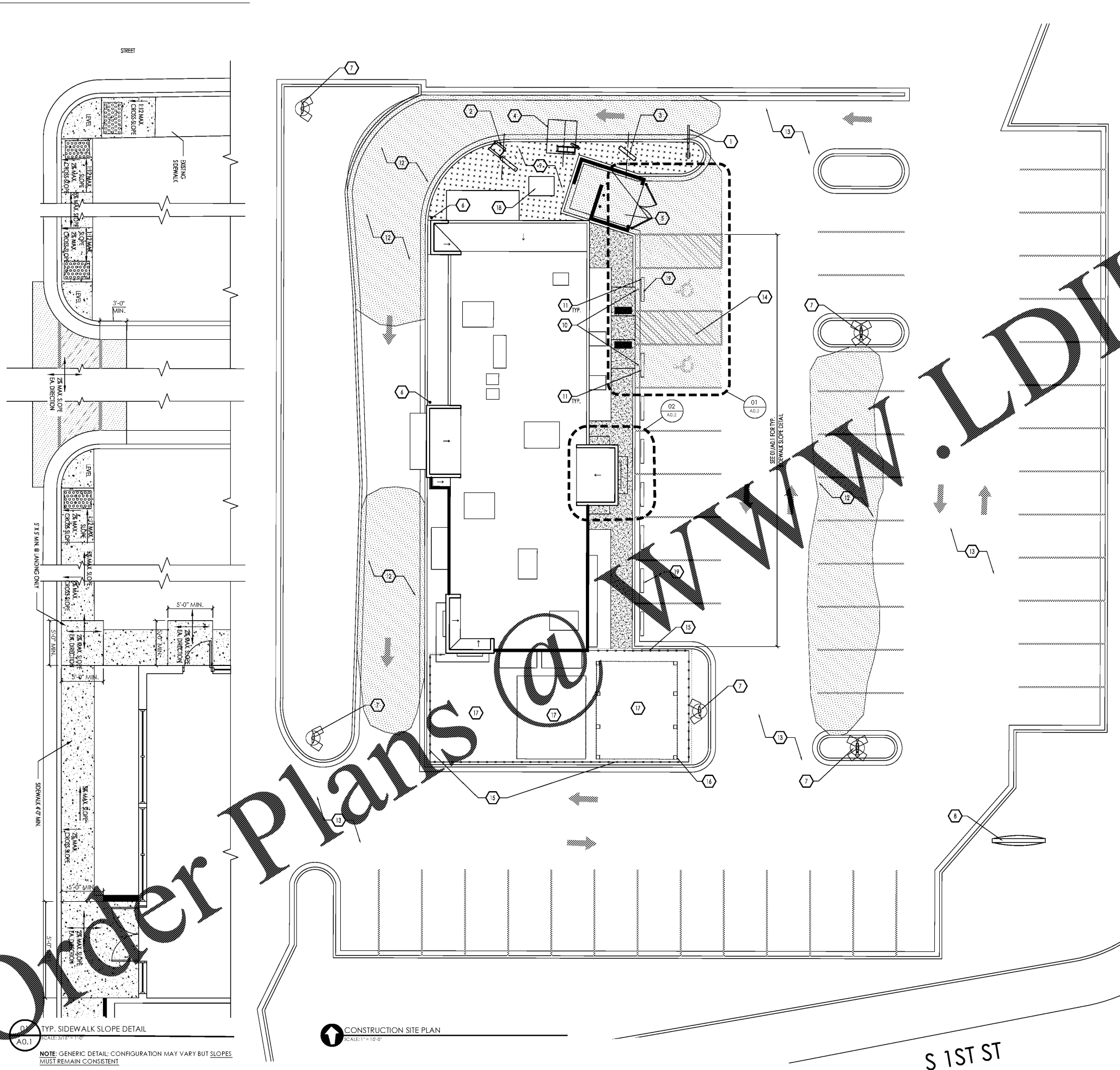
- NEW CLEARANCE BAR - G.C. TO PROVIDE NEW FOUNDATION. SIGN VENDOR TO PROVIDE & INSTALL EQUIPMENT IN RELOCATED/INDICATED LOCATION.
- NEW MENU BOARD - G.C. TO REMOVE EXIST. MENU AND IS TO INSTALL NEW ELEC., CONDUIT, DATA & FOUNDATION. SIGN VENDOR TO PROVIDE & INSTALL EQUIPMENT IN RELOCATED/INDICATED LOCATION. COORD. W/ OWNER.
- NEW PRE-ORDER BOARD - G.C. TO PROVIDE ELEC. WIRING, CONDUIT & FOUNDATION. SIGN VENDOR TO PROVIDE & INSTALL NEW EQUIPMENT IN RELOCATED/INDICATED LOCATION.
- REPLACE EXIST. OCU IN NEW INDICATED LOCATION - G.C. TO REPLACE ELEC. WIRING, CONDUIT, DATA CONNECTIONS & DETECTION LOOP AND IS TO PROVIDE NEW FOUNDATION. SIGN VENDOR TO PROVIDE & INSTALL NEW OCU & CANOPY.
- EXISTING DUMPSTER ENCLOSURE - CLEAN, REPAIR DAMAGED WALLS & RE-PAINT. PAINT COLOR(S) TO MATCH BUILDING (BASE AND FIELD COLORS). REPAIR & REPAINT GATE TO MATCH BASE. REPAIR ANY DAMAGE TO PROVIDE AS "LIKE NEW" CONDITION. EXIST. DOOR PANELS TO BE REPLACED W/ STANDING SEAM METAL PANELS, PAINTED.
- PAINTED NEW BOLLARD AT DRIVE THROUGH WINDOWS. SEE NOTES & DETAILS, SHEET A1.2.
- REPAINT ALL EXIST. SITE LIGHTING TO GLOSS BLACK; RE-LAMP / REPAIR & PROVIDE NEW ELECTRICAL COVERS (PAINTED TO MATCH) AS REQ'D.
- CLEAN & REPAINT EXISTING PYLON SIGN. OWNER / SIGN VENDOR TO RE-FACE SIGN & PROVIDE LED RENDER-BOARD.
- DRIVE-THRU LANDSCAPING TO RECEIVE "UPGRADE" PROVIDED BY OWNER - G.C. COORD. W/ OWNER'S LANDSCAPE COMPANY. NEW LANDSCAPE BLOCK PLANTERS AND WALLS TO BE PROVIDED AT MENU & PRE-ORDER BOARDS. SEE A0.2.
- PROVIDE NEW HC PARKING SIGNS - ENSURE MOUNTING HEIGHT IS ACCURATE & PROVIDE W/ VAN ACCESSIBLE PLACQUARD(S); SEE SHEET A0.2.
- CLEAN & REPAIR ALL CONCRETE WHEELSTOPS AT PARKING SPACES, TYP.
- PATCH AND REPAIR CRACKED, BROKEN OR OIL-STAINED ASPHALT SECTIONS BEFORE RE-SEAL AND RE-STRIPING (SEE GENERAL NOTE ABOVE).
- ALL EXISTING PARKING STALLS AND DIRECTIONAL ARROWS TO BE RE-PAINTED.
- SAW-CUT AND REMOVE EXISTING CONC. CURB(S)/RAMP FOR NEW ADA CURB-RAMPS. REMOVE EXISTING RAILING. SEE DETAIL SHEET A0.2 FOR NEW INSTALLATION.
- EXISTING FENCE - PROTECT DURING CONSTRUCTION. POWER-WASH CLEAN & PAINT BLACK.
- NEW CANOPY SYSTEM. DESIGN BY OTHERS. COORDINATE PROCUREMENT & INSTALLATION W/ ARCH./OWNER. G.C. TO PROVIDE UNDERGROUND ELECTRICAL TO THESE CANOPY LOCATIONS - OWNER TO PROVIDE CANOPY LIGHTING TO BE INSTALLED.
- POWER-WASH CLEAN EXISTING HARDSCAPE AT OUTDOOR SEATING, UNDER-CANOPY AND PLAYGROUND AREAS (AS SUITABLE FOR EXIST'G MATERIAL). COORD. W/ ARCH. AS NEEDED). CLEAN EXISTING PLAYGROUND SET - PROTECT AS NEEDED DURING CONSTRUCTION.
- LOCATION OF TRANSFORMER.
- INSTALL NEW WHEELSTOPS AS INDICATED.

LEGEND:

- AREA OF REPLACED CONC. SIDEWALK - NEW SIDEWALK AREA TO BE MAX. 5% RUNNING SLOPE & MAX. 2% CROSS-SLOPE; LANDING AREAS @ DOOR AND CHANGES IN DIRECTION TO BE MAX 2% SLOPE EACH DIRECTION. SEE 03/A0.3 FOR MORE INFORMATION ON TYPICAL SLOPE REQUIREMENTS.
- APPROXIMATE AREA OF EXIST. PAVING AT HC PARKING (AND OTHER INDICATED AREAS) TO BE SAW-CUT, REMOVED & INFILLED W/ NEW PAVING (MATCH EXIST. TYPE AND CONST.). INFILL TO PROVIDE NEW PARKING AREA W/ MAX 2% SLOPE EA. DIRECTION @ PARKING SPACES AND FEATHERED TO MEET EXIST. PAVING (SLOPE MAX 12%) ADJACENT.

SUNSET BLVD >>

S 1ST ST



A0.1
 TYP. SIDEWALK SLOPE DETAIL
 SCALE: 3/8" = 1'-0"
 NOTE: GENERIC DETAIL; CONFIGURATION MAY VARY BUT SLOPES MUST REMAIN CONSISTENT

CONSTRUCTION SITE PLAN
 SCALE: 1/8" = 1'-0"

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CREATED BY: JMB
 CHECKED BY: MRF
 DATE: 05/11/2018

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CONSTRUCTION SITE PLAN

A0.1