

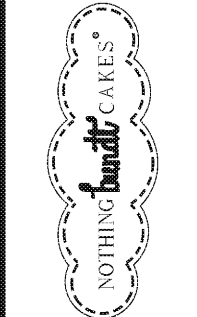


CREEKSIDE PLAZA
4110 N MT. JULIET RD.
MT. JULIET, TN 37122



David G. Boyce
Digitally signed by David G. Boyce
Date: 2018.04.11 14:16:37
+0400'

04.11.18 PERMIT SUBMIT
04.04.18 OWNER REVIEW
NO. DATE REMARKS
REVISIONS



CREEKSIDE PLAZA
4110 N MT. JULIET RD.
MT. JULIET, TN 37122

PROJECT NO: 2018.0044
DATE: 2018.04.11

T1.0
TITLE SHEET

CHECKED: MCP DRAWN: ABKE

General Notes

- ALL WORK SHALL BE DONE IN ACCORDANCE W/ ALL APPLICABLE NATIONAL, STATE & LOCAL CODES AND ORDINANCES. WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AS PER STANDARD BUILDING TECHNIQUES AND PRACTICES.
- FRANCHISEE IS RESPONSIBLE TO FILE, OBTAIN AND PAY FOR BUILDING DEPARTMENT PERMITS UNLESS CONTRACTED OTHERWISE.
- G.C. IS RESPONSIBLE FOR ALL SAFETY CONDITIONS RELATING TO JOB CONSTRUCTION AND ASSURE PROTECTION FOR ADJACENT OCCUPANCIES.
- G.C. TO BE RESPONSIBLE FOR ALL HOISTING RELATED TO WORK IN THIS CONTRACT.
- G.C. IS TO VISIT THE SITE AND CAREFULLY INSPECT THE EXISTING CONDITIONS AFFECTING THE WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO ARCHITECT IN WRITING.
- G.C. IS TO COORDINATE ALL CUTTING AND PATCHING FOR SERVICES AS CALLED FOR ON DRAWINGS.
- G.C. IS TO MAINTAIN SAFE AND UNINTERRUPTED USE OF MECHANICAL, ELECTRICAL AND PHONE SYSTEMS IN EXISTING AREAS PRESENTLY OCCUPIED.
- G.C. IS TO EXERCISE SPECIAL CARE IN THE HANDLING OF MATERIALS, AND EQUIPMENT RUBBISH TO AVOID INCONVENIENCE AND ANNOYANCE OF THE OWNER, MANAGEMENT AND OTHER TENANTS. G.C. IS TO CONTROL JOB CLEANING TO PREVENT DIRT, DEBRIS AND DUST FROM THE PREMISES BEING ALTERED.
- G.C. IS TO BE GUIDED BY INSTRUCTION OF BUILDING MANAGER AS TO MANNER OF HANDLING CONTRACTORS MATERIALS, EQUIPMENT AND DEBRIS.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT APPROVAL BY TENANTS FACILITY DEPARTMENT. G.C. IS TO SUBMIT SUBSTITUTE MATERIAL SAMPLE SPECIFICATIONS FOR APPROVAL, TO TENANTS FACILITIES DEPT. PRIOR TO COMMENCEMENT OF WORK.
- G.C. IS RESPONSIBLE FOR PROVIDING ALL BLOCKING REQ'D FOR WALL HUNG CABINETS, COUNTER TOPS, SHELVES, PLUMBING FIXTURES, ETC. TO INSURE ADEQUATE SUPPORT. ALL WOOD BLD'G. USED SHALL BE F.R.T.
- ALL NEW WALLS ARE TO BE TAPED AND SPACKLED AND ARE TO APPEAR HOMOGENEOUS WITH EXISTING CONSTRUCTION WHEN COMPLETED.
- G.C. SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGE TO EXISTING AREAS NOT DESIGNATED FOR REBURISHMENT.
- BEFORE STARTING WORK, CONTRACTOR IS TO FAMILIARIZE HIMSELF W/ ALL APPLICABLE SECTIONS OF LANDLORDS CRITERIA BOOK (IF APPLICABLE).
- COORDINATE ALL SLAB CUTS, CORING & FLOOR PATCHING W/ LANDLORD. G.C. SHALL LOCATE ALL UTILITY SERVICE POINTS AND SIZES AND COORDINATE WITH LL. THE MECH. EQUIP. ZONE PRIOR TO PROCEEDING WITH WORK. ALERT PROJECT ARCHITECT OF ANY DISCREPANCIES WITH UTILITY SIZE & SERVICE LOCATIONS AS ITS PERTAINS TO THESE PLANS.
- ALL NEW / EXIST. FLOOR FINISHES NOT TO EXCEED CHAMFERED 1/2" MAX. VERTICAL OFFSET.
- NO TOXIC OR COMBUSTIBLE MATERIALS TO BE USED ABOVE FINISH CEILING LINE.
- ALL MATERIALS & WORKMANSHIP SHALL BE GUARANTEED FOR THE PERIOD OF (1) ONE YEAR.
- G.C. TO VERIFY ALL ITEMS AND / OR SERVICES TO BE PROVIDED BY LANDLORD. G.C. TO VERIFY ITEMS IN WHICH HE IS TO INSTALL & COORDINATE LANDLORD SERVICES.
- G.C. TO INSTALL CEILING GRID THE WIRES AS PER CODE. GRID THE WIRES TO ATTACH TO STL. JOISTS ABOVE. DO NOT ATTACH TO HVAC DUCTWORK OR MTL. DECK.
- G.C. TO VERIFY ALL ITEMS AND / OR SERVICES TO BE PROVIDED BY TENANT.
- VERIFY AND PROVIDE ALL REQUIRED H.C. SIGNAGE. VERIFY ALL APPLICABLE MOUNTING HEIGHTS.

Project Information

PROJECT NAME: NOTHING BUNDT CAKES
LOCATION: CREEKSIDE PLAZA
4110 N MT. JULIET RD.
MT. JULIET, TN 37122
CODE INFORMATION:
OCCUPANCY: GROUP M MERCANTILE
USE: TAKE OUT AND DELIVERY CAKE STORE
APPLICABLE CODES: 2012 INTERNATIONAL BUILDING CODE (I.B.C.)
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL MECHANICAL CODE
2014 NATIONAL ELECTRICAL CODE (N.E.C.)
2009 ICC/ANSI A117.1
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE (I.F.C.)
2012 LIFE SAFETY CODE

SHELL CONSTRUCTION:
MASONRY / METAL / NON-COMBUSTABLE MTL.
CONSTRUCTION TYPE: TYPE II-B
SPRINKLER: YES ___ / NO X
(1ST OR 2ND GENERATION INTERIOR FINISH-OUT)
TENANT IMPROVEMENTS:
MASONRY / METAL / NON-COMBUSTABLE MTL.
CONSTRUCTION TYPE: TYPE II-B,

LEASE AREA:
TOTAL GROSS LEASE AREA: 3,156 S.F.
OCCUPANCY / EXITING LOADS

AREA	SQ. FT. AREA	OCCUPANT LOAD
STORE:		
SALES AREA	623	(1:30) 21
KITCHEN	1,136	(1:200) 6
ACCESSORY	1,397	(1:300) 5
TOTAL OCCUPANT LOAD		32

EXITING	
TOTAL EXITS REQUIRED	1
TOTAL EXITS PROVIDED	1
MAXIMUM TRAVEL DISTANCE (NOT-SPRINKLED)	200'-0"
ACTUAL TRAVEL DISTANCE	EXIT 1 = 126'-10"

UNIT OF EXIT WIDTH = 0.2 INCHES
MINIMUM 32" CLEAR REQUIRED FOR EA. EXIT
MINIMUM EXIT UNIT WIDTH REQUIRED:
TOT. OCC. LOAD 32 x 0.2 = 6.4", OR MIN. 32" (MIN. EXITING DOOR WIDTH)
OCC. LD. SERVED BY ALL AREAS 32
EXIT WIDTH REQUIRED FROM ALL AREAS 32" (MIN.)
TOTAL EXIT WIDTH PROVIDED 1(72)" = 72"

PLUMBING DESIGN LOADS:
NUMBER OF RESTROOMS REQ'D. 1 SINGLE USER, UNI-SEX RESTROOM
OTHER PLUMBING FIXTURES REQ'D.
WATER COOLER 1
SERVICE SINK 1

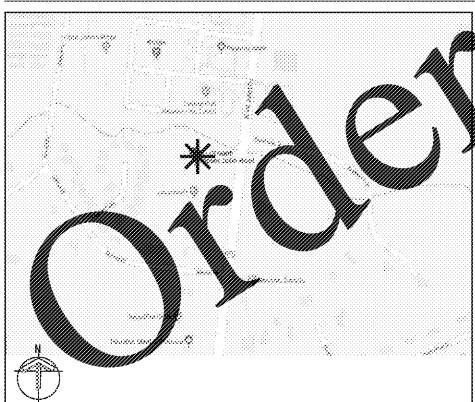
Project Directory

LANDLORD CONTACT
COILLERS INTERNATIONAL
615 3RD AVE. SOUTH SUITE 500
NASHVILLE, TN 37201
PHONE: 615.850.2745
CONTACT: RADLEY HENDRIXSON
ARCHITECT
INTERPLAN LLC
ARCHITECT OF RECORD:
DAVID BOYCE
604 COURTLAND ST
SUITE 100
ORLANDO, FL 32804
CONTACT: KC PAVLIK
KCPAVLIK@INTERPLAN.LLC.COM
PHONE: 407.645.5008
MEP ENGINEERS
MCKENSON ENGINEERING, INC.
148 W. BOND STREET
SUITE 100
NAPERVILLE, IL 60563
PHONE: 630.357.0540
TENANT (FRANCHISEE)
SWEET E.D.G.E. LLC
299B INDIAN LAKE BLVD.
HENDERSONVILLE, TN 37075
PHONE: 615.533.8290
CONTACT: PAM TELLER
TENANT (CORPORATE)
NOTHING BUNDT CAKES
9711 S. EASTERN AVE. - SUITE 100
LAS VEGAS, NV 89148
PHONE: 952.239.3034
CONTACT: JOHN McDONALD

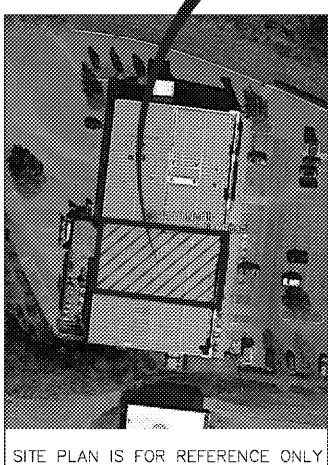
Sheet Index

00	TITLE SHEET
A0	DEMOLITION FLOOR PLAN
A1.0	FLOOR PLAN
A1.1	DOOR SCHED. / WALL SECTIONS / MISC. DETAILS
A2.0	FIXTURE PLAN / FIXTURE SCHEDULE
A2.1	DECOR ELEVATIONS AND NOTES
A3.0	FINISH PLAN / FINISH SCHEDULE
A4.0	INTERIOR ELEVATIONS
A4.1	STANDARD SHELVING DTLs. & INTERIOR ELEVATIONS
A4.2	ACCESSIBILITY/ ENLARGED RESTROOM PLAN & ELEVATIONS
A5.0	MILLWORK / COUNTER DETAILS / MILLWORK SECTIONS
A6.0	REFLECTED CEILING PLAN
A7.0	STANDARD PHONE/DATA/CABLE WIRING
A7.1	STANDARD PHONE/DATA/CABLE WIRING SPECIFICATIONS
SP1.0	SPECIFICATIONS
SP2.0	SPECIFICATIONS
MEP-1	MECHANICAL ROOF PLAN
MEP-2	MECHANICAL / ELECTRICAL / PLUMBING SPECIFICATIONS
M1.0	MECHANICAL FLOOR PLAN
M1.1	MECHANICAL FLOOR PLAN
M2.0	MECHANICAL SCHEDULES
M3.0	MECHANICAL DETAILS
P0.0	PLUMBING LEGEND & GENERAL NOTES
P1.0	PLUMBING DOMESTIC WATER PLAN
P2.0	PLUMBING SANITARY/VENT PLAN
P3.0	PLUMBING SPECIFICATIONS
E0.0	ELECTRICAL LEGEND & GENERAL NOTES
E1.0	ELECTRICAL LIGHTING PLAN
E2.0	ELECTRICAL POWER PLAN
E3.0	ELECTRICAL SCHEDULES

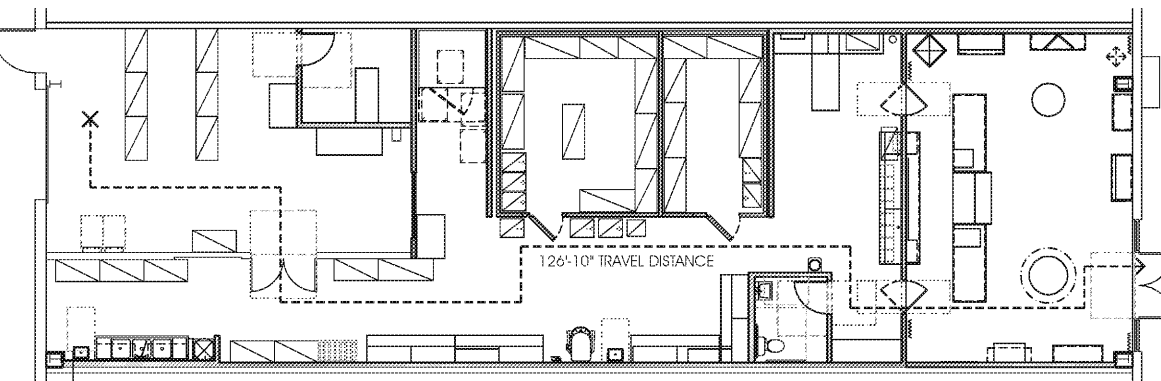
Vicinity Map



NOTHING BUNDT CAKES
3,156 SQ/FT



1 | SITE PLAN
SCALE: N.T.S.



2 | LIFE SAFETY PLAN
SCALE: N.T.S.

Order