

ANTHONY CASSATA ARCHITECT

3813 BUCKFIELD SUITE 140 K BROOK, SC 29645 (312) 726-2245 FAX (312) 726-5123

dd's DISCOUNTS

OWNER:

ROSS STORES 5130 HACIENDA DRIVE DUBLIN, CA 94568

PROJECT:

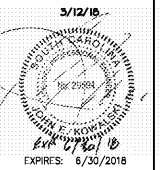
dd's DISCOUNTS STORE #5352 (GREENVILLE, SC)

WHITE HORSE PLAZA 6119 WHITE HORSE ROAD GREENVILLE, SC 29611

BASED ON DD'S 22K TURNKEY - EXISTING PROTOTYPE DATED MARCH, 2018

DRAWING TITLE: PLUMBING FLOOR PLAN

REV. NO.	DATE	DESCRIPTION
1	02/02/18	FOR ROSS REVIEW
2	03/12/18	ROSS MARK-UPS



COPYRIGHT: ALL DRAWN AND WRITTEN INFO. APPEARING HEREIN SHALL NOT BE DUPLICATED, DISCLOSED OR OTHERWISE WITHOUT WRITTEN CONSENT.

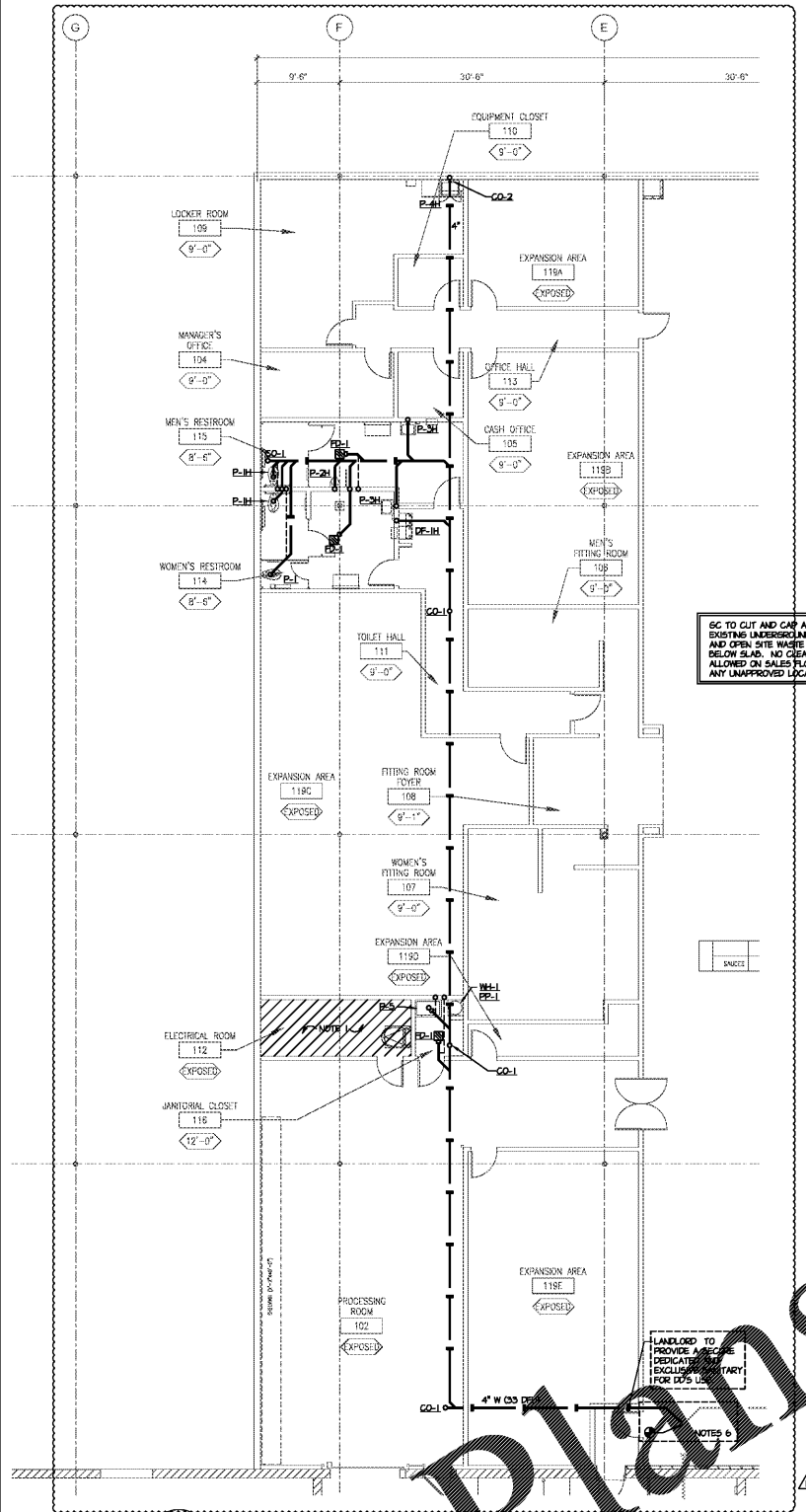
PFDA JOB: #16027

SCALE: AS NOTED

DRAWN BY: CHECKED BY:

SHEET NUMBER

P1.0



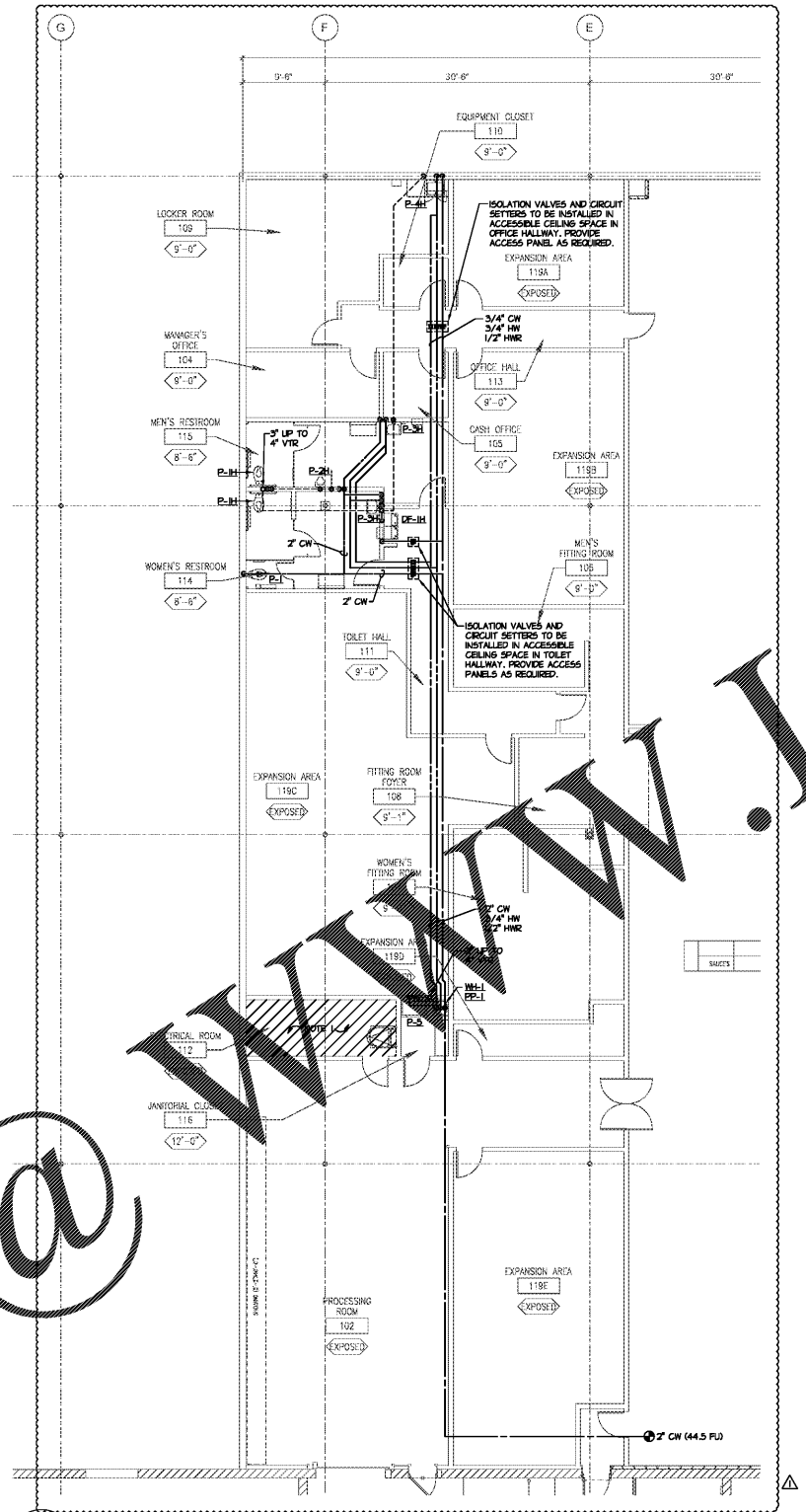
1 UNDERFLOOR PLAN - PLUMBING SCALE: 1/8"=1'-0"

PLAN NOTES

- NO OVERHEAD PIPING ALLOWED IN THE ELECTRICAL ROOM.
- NO CLEAN-OUTS OR DEVICES ARE ALLOWED IN FITTING ROOM, FITTING ROOM Foyer, MANAGER'S OFFICE, CASH OFFICE OR ELECTRIC ROOM.
- VERIFY ROUTING OF UNDERGROUND PIPING TO START CONSTRUCTION.
- REPAIR ALL EXISTING CLEAN-OUT COVERS TO MATCH.
- REPAIR ALL EXISTING DEVICES AND PATCH FINISH AS REQUIRED.
- REMOVE ALL WASTE LINES AND CLEAN-OUTS IF REQUIRED. VERIFY DEPTH AND DISTANCE TO VERIFY NEW WASTE LINE CAN TIE INTO IT.

GENERAL NOTES

- PRIOR TO STARTING WORK THE PLUMBING CONTRACTOR IS TO VIDEO SCOPE THE EXISTING SANITARY LINES TO DETERMINE THE EXISTING CONDITION AND TO PROVIDE RECOMMENDATIONS FOR ANY NEEDED REPAIRS.
- PER ROSS SPECIFICATION, ALL NEW AND EXISTING SANITARY LINES SHALL BE CASE-IN WITH A MINIMUM 1/4" PER FOOT PITCH. GC TO PROVIDE A COMPLETE SYSTEM SCOPE AFTER CONSTRUCTION AND BEFORE DELIVERY.
- THE GC SHALL TEST AND VERIFY DOMESTIC WATER SERVICE PRESSURE PRIOR TO START OF CONSTRUCTION.
- INTERIOR ROOF DRAINS, LEADERS OR CLEAN-OUTS ARE NOT ALLOWED ON THE SALES FLOOR OR FITTING ROOM AREA AND NO DISCHARGE IS ALLOWED AT THE ENTRY SIDE OF THE STORE. ALL INTERIOR DRAINS AND OUTSIDE DISCHARGES MUST BE IDENTIFIED AND APPROVED BY ROSS CM. IF PIPING IS TO BE ALLOWED, ALL PIPING TO BE FULLY REPAIRED TO GOOD AND SECURED CONDITION, AND FULLY INSULATED PER ROSS SPECIFICATIONS WITH ZESTRON 51 MILL PVC JACKET AND INSULATION.
- ITEMS IN DASHED RECTANGLES REPRESENTS WORK PERFORMED BY LANDLORD UNDER SEPARATE PLANS AND PERMIT.



2 FLOOR PLAN - PLUMBING SCALE: 1/8"=1'-0"

PLAN NOTES

- NO OVERHEAD PIPING ALLOWED IN THE ELECTRICAL ROOM.
- LANDLORD TO PROVIDE A COMPLETE SEPARATE AND INDEPENDENT FIRE PROTECTION SYSTEM FOR ROSS SPACE. ANY DEVIATIONS TO FIRE PROTECTION RISER SHALL BE BY LANDLORD. ANY SPRINKLER LINES RUNNING WITHIN TENANT SPACE FOR THE ADJACENT TENANT SHALL BE ALLOWED, BUT MUST BE WRAPPED WITH ZESTRON WATERPROOF PIPE WRAP.
- LANDLORD TO PROVIDE A COMPLETE SEPARATE AND INDEPENDENT INCOMING DOMESTIC WATER SERVICE FOR ROSS SPACE. ALL DEVIATIONS TO INCOMING DOMESTIC RISER SHALL BE BY LANDLORD. ANY DOMESTIC WATER LINES RUNNING WITHIN TENANT SPACE FOR THE ADJACENT TENANT SHALL BE ALLOWED, BUT MUST BE WRAPPED WITH ZESTRON WATERPROOF PIPE WRAP.

Order Plans @ WWW.LDILine.com