

INDICATES WALL TYPE (REFER TO F/AII.2 FOR STUD SIZE MATRIX)
EXISTING TENANT SEPARATION OR CORRIDOR WALL TO REMAIN. G.C. TO PATCH AND REPAIR AS REQUIRED TO MAINTAIN EXISTING FIRE RATING (1-HR) - G.C. TO REPLACE AREAS OF EXISTING GYP. BD. WITH NEW 5/8" TYPE 'X' GYP. BD. IF EXPOSED IN FINISH PROJECT (SALES FLOOR ONLY) - G.C. TO FIRE SAFE ALL VOIDS, FIRE TAPE AND CAULK AS REQUIRED. NOTE: IF TENANT SEPARATION WALLS STOP SHORT OF DECK ABOVE G.C. TO INSTALL 2"x4" WELDED WIRE MESH FROM INSIDE TENANT SEPARATION WALL TO DECK ABOVE. G.C. TO ENSURE WELDED WIRE MESH IS SECURELY ATTACHED. FOR MARKING REQUIREMENTS, REFER TO ADDITIONAL NOTE #4, THIS SHEET.
SALES AREA PARTITION. G.C. TO INSTALL 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. - INSTALL 5/8" GYP. BD. TO GYP. BD. CEILING OR 6" ABOVE LAY-IN CEILING ON ONE OR BOTH SIDES AS NECESSARY - PROVIDE F.R.T. BLOCKING AS REQUIRED.
FULL HEIGHT PARTITION: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. TO UNDERSIDE OF DECK ABOVE - INSTALL 5/8" TYPE 'X' GYP. BD. TO GYP. BD. CEILING OR 6" ABOVE LAY-IN CEILING ON SALES SIDE AND TO DECK ABOVE ON NON SALES SIDE.
TOILET ROOM PARTITION: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. TO UNDERSIDE OF DECK ABOVE - INSTALL 5/8" TYPE 'X' GYP. BD. ON BOTH SIDES - USE WATER RESISTANT GYP. BD. ON TOILET ROOM SIDE.
PLUMBING PARTITION: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. TO UNDERSIDE OF PLATFORM ABOVE - INSTALL 5/8" WATER RESISTANT GYP. BD. ON TOILET ROOM SIDE.

INDICATES WALL SECTION DETAIL
PARTIAL HEIGHT PARTITION: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. - G.C. TO INSTALL 5/8" GYP. BD. BOTH SIDES. TOP OF WALL AT 9'-0" A.F.F. OR 8'-0" A.F.F. REFER TO SHEET A10.1
FURRING PARTITION: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. - G.C. TO INSTALL 5/8" GYP. BD. ON EXPOSED SIDE TO 6" ABOVE CEILING - ANCHOR STUDS TO TENANT SEPARATION WALL AT MIDHEIGHT, TOP & BOTTOM (FOR EXTERNAL DRAWING)
1-HR RATED WALL: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. TO DECK ABOVE - G.C. TO INSTALL 5/8" TYPE 'X' GYP. BD. FULL HEIGHT TO DECK ABOVE TO CREATE 1-HR FIRE RATED ASSEMBLY - FIRE SAFE, FIRE TAPE AND CAULK AS REQUIRED (UL-9466)
(N) TENANT SEPARATION WALL: 3 5/8", 1 5/8" FLANGE METAL STUDS TO DECK ABOVE BY LANDLORD. G.C. TO INSTALL 5/8" TYPE 'X' GYP. BD. TENANT SIDE ONLY FULL HEIGHT TO DECK ABOVE TO CREATE 1-HR FIRE RATED ASSEMBLY - FIRE SAFE, FIRE TAPE AND CAULK AS REQUIRED (UL-9466)
PARTITION AT HEAD: 3 5/8", 1 5/8" FLANGE METAL STUDS AT 16" O.C. ABOVE OPENING - REFER TO DETAIL FOR MORE INFORMATION.
STOREFRONT CONSTRUCTION. REFER TO STOREFRONT SHEETS FOR ADDITIONAL INFORMATION.

#	DESCRIPTION
1	LEASE LINE
2	EXISTING ENTRY DOORS TO REMAIN
3	G.C. TO PRESERVE AND PROTECT EXISTING LANDLORD AND ADJACENT TENANT CONSTRUCTION, REPAIR AS NEEDED, AND FINISH TO 'LIKE NEW' CONDITIONS PER LANDLORD REQUIREMENTS.
4	EXISTING COLUMN TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION AND MAINTAIN FIRE RATING
5	CONCRETE MUST BE LEVEL AND CLEAN OF ANY FOREIGN MATERIALS PRIOR TO INSTALLING NEW FINISHED FLOORING. G.C. TO PERFORM MOISTURE VAPOR EMISSION TEST BEFORE INSTALLING ANY FLOORING - REFER TO SPECIFICATIONS FOR MOISTURE TEST PROCEDURES
6	PORTABLE FIRE EXTINGUISHER
7	CABINETS - REFER TO SHEET A10.1 - COORDINATE ELEC. W/ ACCESS PANEL CUT-OUTS (TYP.)
8	BASKETBALL - REFER TO SHEET A10.1 - COORDINATE ELEC. W/ ACCESS PANEL CUT-OUTS (TYP.)
9	EXISTING ELECTRICAL EQUIPMENT & TELEPHONE BOARD. REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION
10	3'-6" CLEAR FLOOR SPACE IN FRONT OF ELECTRICAL PANELS
11	PLAN TUBE - SEE DETAIL C/A14.1
12	EXISTING SHELVING
13	EXISTING PLUMBING FIXTURES
14	EXISTING FLOOR MOUNTED SERVICE SINK - G.C. TO PROVIDE SEALANT AT MOP SINK AND ADJACENT SURFACES FOR WATER TIGHT CONDITION
15	(2) TONERS OF EMPLOYEE LOCKERS. G.C. TO MECHANICALLY FASTEN TO WALL
16	NON-TYPE RAILS ADJUST TO EXISTING HYDRO DRINKING FOUNTAIN - REFER TO DETAIL J/A11.1
17	PLATFORM ABOVE TOILET ROOM - REFER TO DETAIL J/A11.1
18	LIGHT GAUGE HEADER FOR PLATFORM STRUCTURAL SUPPORT - G.C. TO USE (2) 2" x 12" G.A. STUDS WITH WED SHIFTERS @ EACH END (509542 54) AND 3 5/8" x 6" G.A. (547112 54) TRACK TOP 1 BOT
19	TRENCHING FOR PROPOSED POWER AND DATA LINES TO CABINETS - SEE ELECTRICAL DRAWINGS FOR CONDUIT AND WIRING SIZE REQUIRED

#	DESCRIPTION
20	EXISTING WATER HEATER ABOVE TO REMAIN
21	EXISTING H/LD DRINKING FOUNTAIN
22	REFRIGERATOR AND MICROWAVE - REFER TO ELECTRICAL DRAWINGS
23	STOREFRONT SIGNAGE - COORDINATE WITH UNTUCKIT PROJECT MANAGER
24	BOTTLED WATER DISPENSER
25	ALIGN WALLS
26	2"x2"x48" METAL CORNER GUARDS MOUNTED AT TOP OF BASE - NON SALES AREA 16 GA. GALVANIZED, FASTEN WITH SILICONE, CAULK AT EXPOSED EDGES - REFER TO G/A14.1
27	NEW DOOR BUZZER - REFER TO ELECTRICAL SHEETS
28	NEW BLADE SIGN - REFER TO A8.1
29	G.C. TO PROVIDE CONTINUOUS 1/2" F.E.T. WOOD FURRING FOR PIPE SHELVING CENTERLINE OF BLVD. TO BE MOUNTED AT 7'-0" A.F.F. SECURE FURRING TO WALL STUDS WITH (2) #10 STEEL SCREWS @ EACH STUD LOCATION. (2) WALL IS CONCRETE BLOCK, USE FURRING TO BE MOUNTED TO CONCRETE BLOCK WITH (2) #10 STEEL SCREWS @ EACH STUD LOCATION. (2) WALL IS CONCRETE BLOCK, USE FURRING TO BE MOUNTED TO CONCRETE BLOCK WITH (2) #10 STEEL SCREWS @ EACH STUD LOCATION. (2) WALL IS CONCRETE BLOCK, USE FURRING TO BE MOUNTED TO CONCRETE BLOCK WITH (2) #10 STEEL SCREWS @ EACH STUD LOCATION.
30	SHELF ABOVE DESK - REFER TO P/A14.1 # ELECTRICAL SHEETS
31	FIXED SHELVING - REFER TO VENDOR SHOP DRAWINGS & DETAIL
32	EMERGENCY VERTICAL MALL DUCT / CHANGES TO REMAIN
33	NEW STOREFRONT SIGNAGE ABOVE - REFER TO C/A8.1 FOR DETAILS
34	WALL MOUNTED MIRROR - REFER TO INTERIOR FINISHES FOR SIZE & POSITION
35	PERIMETER SHELVING & HANGING SYSTEM, PROVIDE COMBUSTIBLE BLOCKING AS REQUIRED TO SECURE UNIT TO THE WALL
36	NEW ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION
37	NEW METAL ENGLISH OVER (E) TOILET ROOM - REFER TO STOREFRONT SHEETS
38	MOBILE SHELVING - REFER TO VENDOR SHOP DRAWINGS & DETAIL A/A14.1

PARTITION LEGEND

CONSTRUCTION PLAN CODED NOTES

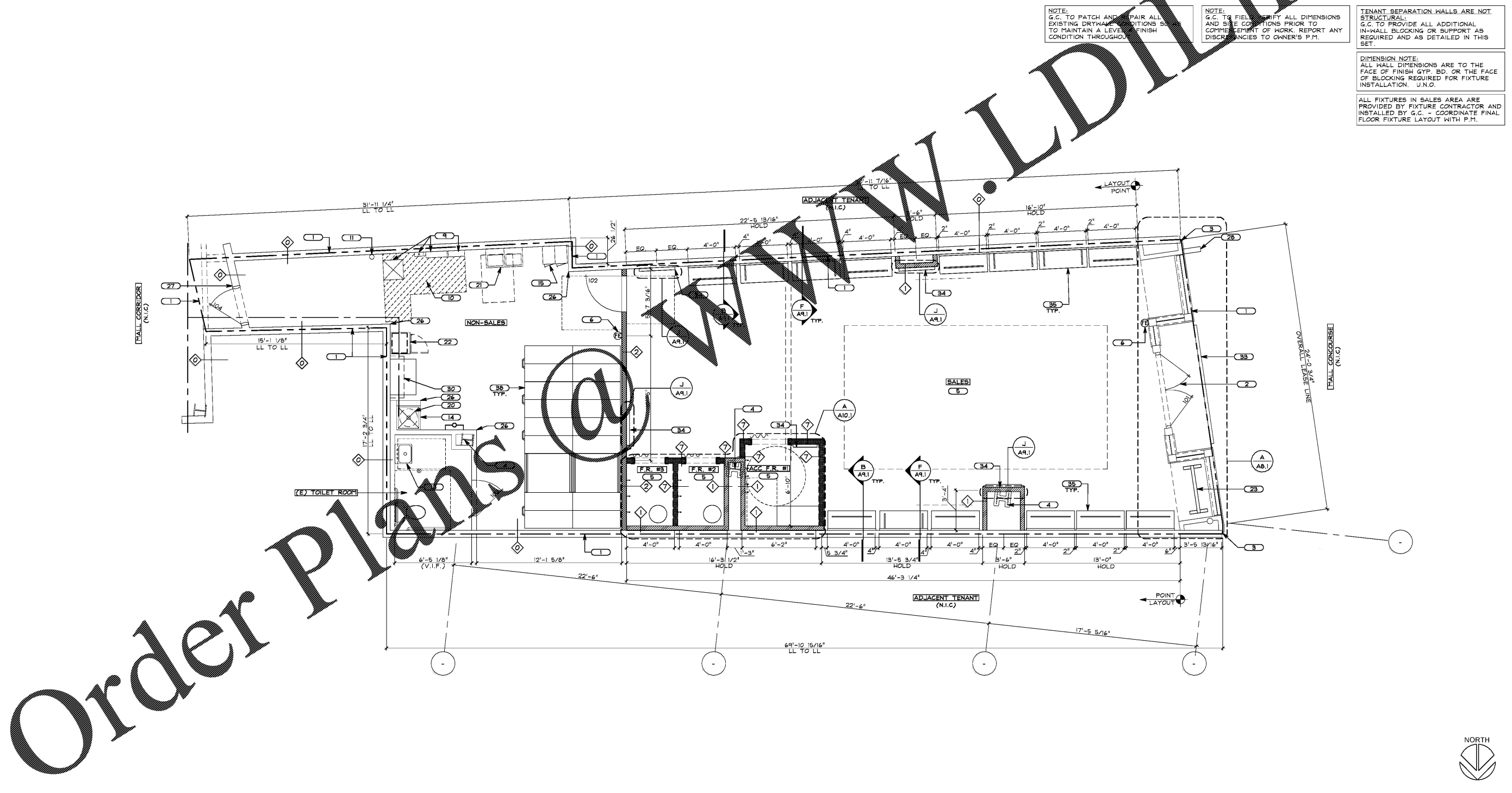
NOTE: G.C. TO PATCH AND REPAIR ALL EXISTING DRYWALL CONDITIONS SUBJECT TO MAINTAIN A LEVEL FINISH CONDITION THROUGHOUT.

NOTE: G.C. TO FIELD VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO OWNER'S P.M.

TENANT SEPARATION WALLS ARE NOT STRUCTURAL. G.C. TO PROVIDE ALL ADDITIONAL IN-WALL BLOCKING OR SUPPORT AS REQUIRED AND AS DETAILED IN THIS SET.

DIMENSION NOTE: ALL WALL DIMENSIONS ARE TO THE FACE OF FINISH GYP. BD. OR THE FACE OF BLOCKING REQUIRED FOR FIXTURE INSTALLATION. U.N.O.

ALL FIXTURES IN SALES AREA ARE PROVIDED BY FIXTURE CONTRACTOR AND INSTALLED BY G.C. - COORDINATE FINAL FLOOR FIXTURE LAYOUT WITH P.M.



CONSTRUCTION PLAN

1/4" = 1'-0" A

OWNER: **UNTUCKIT**
 SHIRTS DESIGNED TO BE WORN UNTUCKED.
 110 GREEN STREET
 SUITE 400
 DURHAM, NC, 27701

ARCHITECT/ENGINEER: **SHREMSHOCK**
 North Carolina Firm
 License Number: 652014
 7400 W. Campus Rd. Ste. 150 New Albany, OH 43054
 1-614-545-4550 | F: 614-545-4555

PROJECT LOCATION:
 THE STREETS AT
 SOUTHPOINT
 6910 FAYETTEVILLE RD
 SPACE#: 1140
 DURHAM, NC 27713

DESIGN TYPE:

REVISIONS:

REQUIRED BY: _____ DATE: _____

DRAWN BY: REC
 CHECKED BY: ELM

Bid Set
 TRCI
 04.10.18

DRAWING TITLE:
CONSTRUCTION PLAN

DATE ISSUED:
 03/30/2018

PROJECT NO:
 180088

DRAWING NO:
A2.1