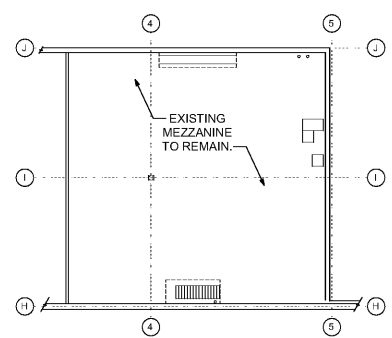


**DEMOLITION NOTES**

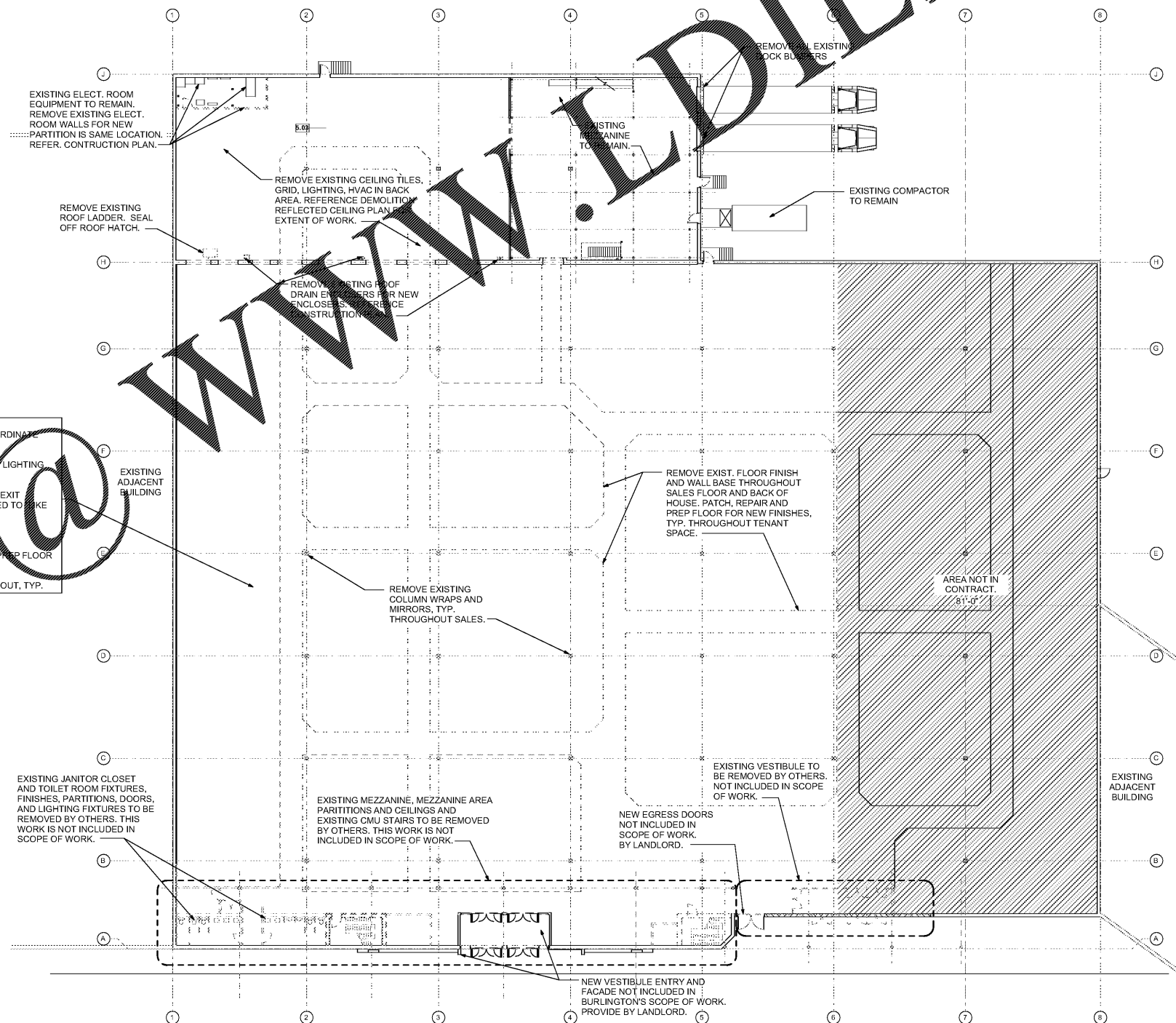
- DEMOLITION PLANS SHOW APPROXIMATE LAYOUT OF EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS LOCATED IN THE BUILDING WHICH MAY AFFECT THE ADJACENT BUILDING(S) OR TENANT SPACE(S). THE LANDLORD AND THE ADJACENT BUILDING(S) OR TENANT SPACE(S) MUST BE NOTIFIED PRIOR TO SHUTDOWN OF ANY SHARED MECHANICAL, PLUMBING AND ELECTRICAL SYSTEMS.
- IF REQUIRED PROVIDE TEMPORARY DUST TIGHT PARTITIONS DURING INTERVAL BETWEEN DEMOLITION AND REMOVAL OF EXISTING CONSTRUCTION AND INSTALLATION OF NEW CONSTRUCTION TO PREVENT THE SPREAD OF DUST AND DIRT TO ADJACENT BUILDING(S) OR TENANT SPACE(S). EXISTING ADJACENT BUILDING(S) WILL REMAIN OPEN FOR BUSINESS DURING CONSTRUCTION.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. EDGES OF WALLS SHOWN TO REMAIN SHALL BE SAWCUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN INCLUDING BUT NOT LIMITED TO WALLS, STOREFRONT, DOORS, FRAMES, ETC. SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION AT NO COST TO OWNER.
- PROVIDE ALL NECESSARY SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED, AND ADJACENT STRUCTURE OR ELEMENT SHOWN TO REMAIN. SHORING AND BRACING SHALL BE DESIGNED BY CONTRACTOR'S PROFESSIONAL ENGINEER LICENSED IN THE APPLICABLE JURISDICTION.
- REMOVE EXISTING FLOOR FINISHES IN THEIR ENTIRETY DOWN TO EXISTING SUBSTRATE UNLESS NOTED OTHERWISE. DAMAGE TO SUBSTRATE AS A RESULT FROM DEMOLITION ACTIVITY SHALL BE RETURNED TO GOOD CONDITION. ALL FLOORS SHALL BE SMOOTH AND LEVEL AND READY TO RECEIVE FLOOR FINISH. CONTRACTOR SHALL PATCH, LEVEL, OR FLOAT EXISTING FLOOR FINISHES REQUIRED TO ACHIEVE THE PROPER SUBSTRATE.
- EXISTING CONCRETE FLOOR SLABS SHOWN TO BE REMOVED SHALL BE CLEANLY SAWCUT FROM EXISTING CONSTRUCTION. COMPLETELY REMOVE EXISTING CONCRETE SLABS, PROOFROLL AND COMPACT EXISTING SUBGRADES AND DETERMINE SOIL BEARING CAPACITY. UNDERCUT ANY ZONES OF INSTABILITY DISCLOSED BY THE PROOFROLLING AND REPLACE THE UNDERCUT MATERIAL WITH CONTROLLED FILL.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT WORK AREA ABOVE AND BELOW EXISTING CEILING, INCLUDING BUT NOT LIMITED TO STUD PARTITIONS, DOORS, FRAMES, SOFFITS, STUD FRAMING, FURRING, INSULATION, SUSPENDED CEILING SYSTEMS, ETC., UNLESS SPECIFICALLY SHOWN TO REMAIN.
- REMOVE ALL EXISTING OBSOLETE MECHANICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT WORK AREA INCLUDING BUT NOT LIMITED TO PIPING, VALVES, CONTROL WIRING, MOUNTING OR HANGING DEVICES, ETC., UNLESS SPECIFICALLY SHOWN TO REMAIN.
- REMOVE ALL EXISTING OBSOLETE PLUMBING FIXTURES AND EQUIPMENT IN THEIR ENTIRETY THROUGHOUT WORK AREA INCLUDING BUT NOT LIMITED TO HOT, COLD AND NATURAL GAS PIPING, SANITARY, WASTE, CONDENSATE, AND VENT PIPING, ETC., UNLESS SPECIFICALLY SHOWN TO REMAIN.
- REMOVE ALL EXISTING OBSOLETE ELECTRICAL EQUIPMENT SYSTEMS IN THEIR ENTIRETY THROUGHOUT BUILDING INCLUDING BUT NOT LIMITED TO LIGHTING, COMMUNICATIONS, TELEPHONE AND SECURITY SYSTEMS, PANELS, CONDUITS, WIRES, BOXES, DEVICES AND ASSOCIATED ITEMS, ETC., UNLESS SPECIFICALLY SHOWN TO REMAIN. EXISTING LIFE-SAFETY SYSTEM SHALL REMAIN OPERATIONAL DURING DEMOLITION PHASE.
- REMOVE ALL EXISTING OBSOLETE ROOF MOUNTED EQUIPMENT THROUGHOUT THE TENANT SPACE. EXISTING OPENINGS SHALL BE PROPERLY PATCHED WITH MATERIALS CONSISTENT WITH THE GENERAL ROOF CONSTRUCTION. WHERE OPENING ARE LARGER THAN 1'-0" X 1'-0", THE G.C. SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER TO THE ARCHITECT INDICATING THE METHOD OF OPENING CLOSURE.
- ELECTRIC: EXISTING INCOMING ELECTRICAL SERVICE(S) FROM SITE (INCLUDING ANY METERS AND/OR MAIN DISCONNECTS) TO THE BUILDING SHALL REMAIN UNLESS OTHERWISE NOTED.
- TELEPHONE: EXISTING INCOMING TELEPHONE SERVICE(S) FROM SITE TO THE BUILDING SHALL REMAIN UNLESS OTHERWISE NOTED.
- GAS: EXISTING INCOMING GAS SERVICE FROM SITE (INCLUDING ANY METERS) TO THE BUILDING SHALL REMAIN UNLESS OTHERWISE NOTED.
- DOMESTIC WATER: EXISTING INCOMING WATER SERVICE(S) FROM SITE (INCLUDING ANY METERS) TO THE BUILDING SHALL REMAIN UNLESS OTHERWISE NOTED.
- FIRE SPRINKLER WATER: THE EXISTING AREA IS CURRENTLY SPRINKLERED. THE AREA IS BEING RENOVATED. EXISTING FIRE SPRINKLER SYSTEM SHALL REMAIN OPERATIONAL DURING DEMOLITION PHASE TO THE SATISFACTION OF AUTHORITIES HAVING JURISDICTION. SPRINKLER MODIFICATIONS WILL BE MADE DURING THE TENANT IMPROVEMENT PHASE.
- SANITARY SEWER: EXISTING INCOMING SANITARY SEWER SERVICE(S) FROM SITE TO THE BUILDING SHALL REMAIN UNLESS OTHERWISE NOTED.
- STORM SEWER: EXISTING ROOF DRAINS AND RELATED STORM SEWER SYSTEM SHALL REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL FLOOD TEST EACH DRAIN PRIOR TO BEGINNING CONSTRUCTION. CLOGGED DRAIN SHALL BE NOTED AND BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER. CONTRACTOR SHALL PROTECT ALL DRAINS FROM CONSTRUCTION DEBRIS DURING THE ENTIRE PROJECT.
- MECHANICAL REFERENCE MECHANICAL PLANS FOR ROOF UNIT REPLACEMENT. REMOVE ALL OBSOLETE EQUIPMENT, CURBS, AND MISCELLANEOUS DRAINAGE. EXISTING OPENINGS SHALL BE PROPERLY PATCHED WITH MATERIALS CONSISTENT WITH THE GENERAL ROOF CONSTRUCTION. WHERE OPENING ARE LARGER THAN 1'-0" X 1'-0", CONTRACTOR SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER TO THE ARCHITECT INDICATING THE METHOD OF OPENING CLOSURE.

--- INDICATES PARTITION TO BE REMOVED  
 - - - - - INDICATES DOOR & FRAME TO BE REMOVED



**16 MEZZANINE DEMOLITION PLAN**  
 SCALE: 1/16" = 1'-0"

**GENERAL NOTES:**  
 BURLINGTON'S CONTRACTOR AND LANDLORD'S CONTRACTOR TO COORDINATE PHASING FOR DEMOLITION.  
 REFERENCE DEMOLITION REFLECTED CEILING PLAN FOR SALES FLOOR LIGHTING AND CEILING DEMO WORK.  
 REFERENCE ELECTRICAL PLANS FOR NEW FIXTURES, TYP. EXISTING EXIT FIXTURES AT EXISTING EGRESS DOORS TO REMAIN AND REFURBISHED TO MAKE "NEW" CONDITION.  
 REMOVE ANY EXIST. POWER POLES AND ASSOCIATED WIRING.  
 REMOVE EXIST. FLOOR FINISH AND WALL BASE, PATCH, REPAIR AND PREP FLOOR FOR NEW FINISHES, TYP. THROUGHOUT TENANT SPACE.  
 REMOVE ALL FIRE EXTINGUISHERS, BRACKET, ETC. THROUGHOUT, TYP.



**1 DEMOLITION PLAN**  
 SCALE: 1/16" = 1'-0"

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**Burlington**  
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 BURLINGTON, NEW JERSEY  
 08016

INTERIOR TENANT IMPROVEMENT  
 FOR BURLINGTON STORES AT  
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 STORE #188**  
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 7685 SUDLEY ROAD  
 MANASSAS, VA 20109  
 PRINCE WILLIAM COUNTY

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**PROJECT INFO:**  
 PROJECT NUMBER:  
 9333.10  
 DRAWN: PPW  
 CHECKED: JMD

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 ARCHITECTURAL DEMOLITION PLAN

**DM1.0**

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