

Order Plans @

CODE NOTES

- ALL GYP. BD. SHALL HAVE A MINIMUM FIRE RATING OF 20 MIN. TYPE-X GYP. BD. SHALL BE USED WHERE NOTED.
- COORDINATE ALL LOCATIONS OF FIRE RELATED EQUIPMENT SUCH AS FIRE EXTINGUISHERS, LOCK BOX, ETC. WITH LOCAL FIRE MARSHALL PRIOR TO INSTALLATION.
- EGRESS PATH SHALL REMAIN UNOBSTRUCTED AT ALL TIMES. EGRESS DOORS SHALL REMAIN UNLOCKED FROM INSIDE SPACE AT ALL TIMES.
- ALL WOOD AND PLYWOOD BLOCKING USED IN TENANT SPACE PARTITIONS SHALL BE FIRE RETARDANT TREATED.

LEGEND

- MERCANTILE
- BUSINESS
- STORAGE
- UTILITY
- MAXIMUM TRAVEL PATH START POINT
- PATH OF EGRESS TRAVEL
- EXIT

CODE DATA

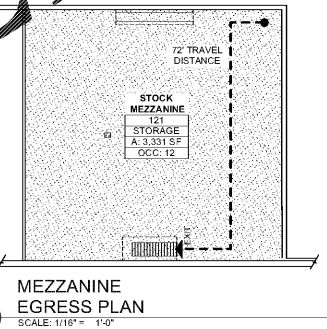
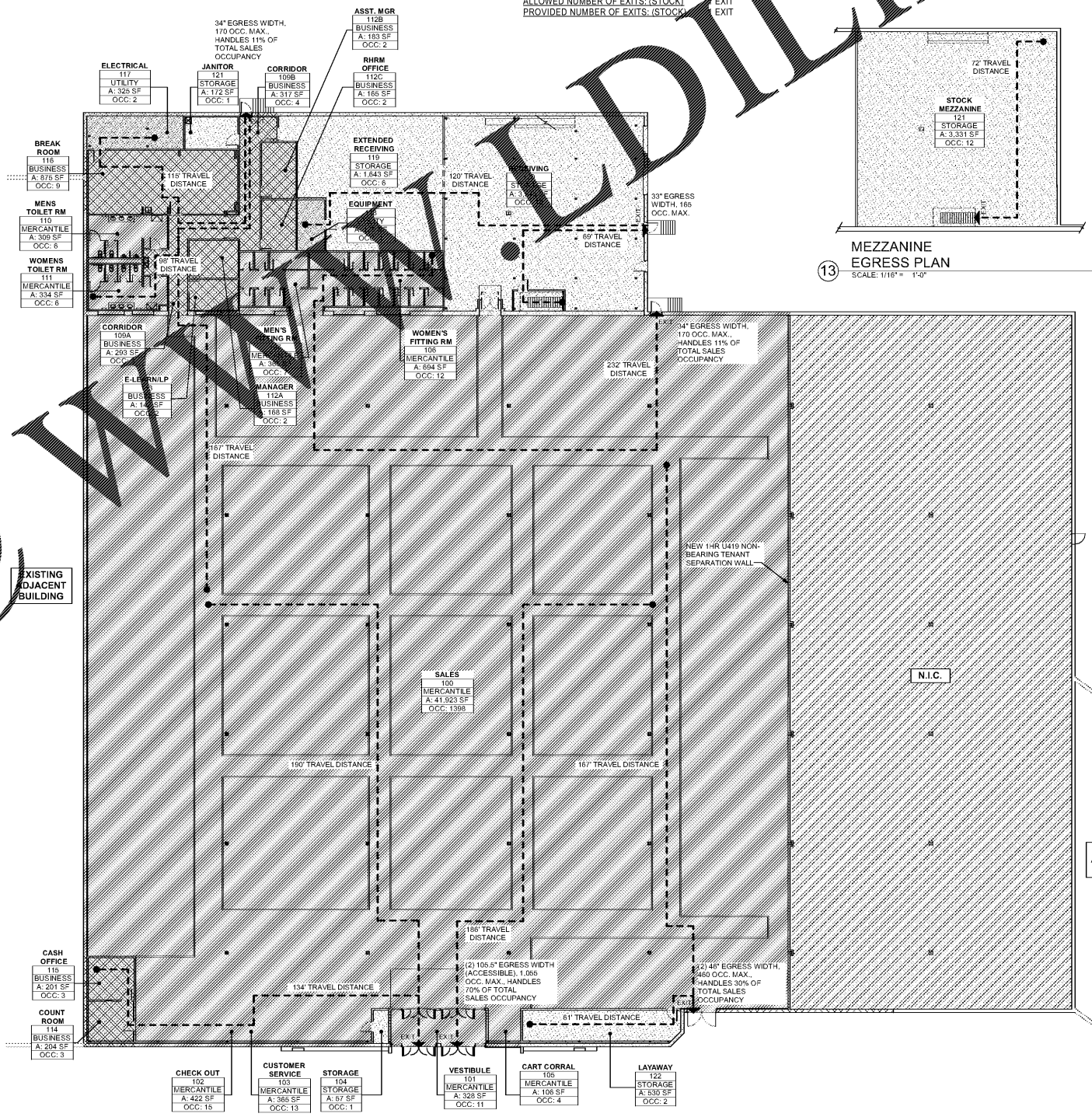
- PROJECT SCOPE:** SEE COVER SHEET FOR FULL DESCRIPTION.
- APPLICABLE CODES:**
 - 2012 VIRGINIA UNIFORM STATEWIDE BUILDING CODE
 - 2012 INTERNATIONAL BUILDING CODE
 - 2012 INTERNATIONAL MECHANICAL CODE
 - 2012 INTERNATIONAL PLUMBING CODE
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2012 INTERNATIONAL FUEL GAS CODE
 - 2011 NATIONAL ELECTRICAL CODE
 - 2009 ICC/ANSI A117.1 FOR ACCESSIBILITY STANDARDS
 - 2012 INTERNATIONAL EXISTING BUILDING CODE
- CLASSIFICATION OF WORK:** ALTERATIONS - LEVEL 2
- USE AND OCCUPANCY CLASSIFICATION:** M-MERCANTILE
- CONSTRUCTION CLASSIFICATION (TYPE):** EXISTING FROM 1981 BOCA IIA NEW FROM 2012 IBC: IIB-FULLY SPRINKLERED
- ALLOWABLE HEIGHT AND BUILDING AREAS:**
 - ALLOWABLE AREA: UNLIMITED
 - EXISTING GROUND LEVEL AREA: 70,809 SQ.FT.
 - EXISTING MEZZANINE AREA: 6,523 SQ.FT.
 - EXISTING TOTAL AREA: 77,332 SQ.FT.
 - NEW REDUCED AREA: 53,722 SQ.FT.
 - MEZZANINE AREA TO REMAIN: 3,331 SQ.FT.
 - NEW TOTAL AREA: 57,053 SQ.FT.
 - ALLOWABLE HEIGHT: 75'-0"
 - ACTUAL HEIGHT: 27'-5"
- OCCUPANT LOAD:** ACTUAL AREA OF BUILDING: 57,053 SQ. FT.
- PLUMBING FIXTURE REQUIREMENTS:**

PLUMBING FIXTURE	CALCULATION	REQUIRED	PROVIDED
WATER CLOSETS, MEN:	1 PER 500 OCC.	2	2
WATER CLOSETS, WOMEN:	1 PER 500 OCC.	2	4

URINALS
 * CAN SUBSTITUTE FOR WATER CLOSETS, LESS THAN 67% OF REQUIRED NO. OF WATER CLOSETS
 LAVATORIES, MEN: 1 PER 750 OCC. 2 3
 LAVATORIES, WOMEN: 1 PER 750 OCC. 2 3
 DRINKING FOUNTAINS 1 PER 1000 2 2
 OTHERS 1 SERVICE SINK/USEGROUP 1
- EGRESS REQUIREMENTS:**
 - REQUIRED EGRESS WIDTH: 1,555 OCC. X 0.2=311.0" PROVIDE EGRESS WIDTH: 371.0"
 - REQUIRED EXIT ACCESS TRAVEL DISTANCE: 250'
 - REQUIRED EXIT ACCESS TRAVEL DISTANCE: LESS THAN 250'
 - (PER 1015.1.1) MINIMUM NUMBER OF EXITS: (SALES) 4 EXITS PROVIDED NUMBER OF EXITS: (SALES) 4 EXITS ALLOWED NUMBER OF EXITS: (STOCK) 1 EXIT PROVIDED NUMBER OF EXITS: (STOCK) 1 EXIT

FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (HOURS):

BUILDING ELEMENTS	REQUIRED	PROVIDED	STANDARD
STRUCTURAL FRAME	0HR.	2HR.	-
EXTERIOR BEARING WALL	0HR.	2HR.	-
INTERIOR BEARING WALL/COL.	0HR.	0HR.	-
INTERIOR NON-BEARING WALL	0HR.	0HR.	-
FLOOR CONSTRUCTION	0HR.	0HR.	-
ROOF CONSTRUCTION	0HR.	0HR.	-



1 EGRESS PLAN SCALE: 1/16" = 1'-0"

William J. Fearon Architects
 ARCHITECTS
 601 Chapel Avenue East
 Cherry Hill, New Jersey 08034
 P 856.425.8877
 F 856.425.8379
 W jgfearon@williamjfeardon.com

WILLIAM J. FEARON
 ARCHITECT

Date: 02/22/16
 William J Fearon AIA
 VA 017851

Burlington
 BURLINGTON STORES, INC.
 1830 ROUTE 130 NORTH
 BURLINGTON, NEW JERSEY
 08016

INTERIOR TENANT IMPROVEMENT
 FOR BURLINGTON STORES AT
**MANASSAS, VA
 STORE #188**
 SUDLEY TOWN PLAZA
 7685 SUDLEY ROAD
 MANASSAS, VA 20109
 PRINCE WILLIAM COUNTY

DISTRIBUTION:	DATE
0 PERMIT SUBMISSION	02/22/2016

PROJECT INFO:
 PROJECT NUMBER: 9333.10
 DRAWN: PPW
 CHECKED: JMD
NOTE & COPYRIGHT:
 CONTRACTORS SHALL VERIFY EXISTING CONDITIONS AND CORRELATE DIMENSIONS PRIOR TO PROVIDING THE WORK. DETAILERS IN THESE DRAWINGS SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. UNAUTHORIZED REPRODUCTION OR OTHER USE OF THIS DRAWING IS PROHIBITED.

DRAWING NAME & TITLE:
 CODE DATA
A0.1