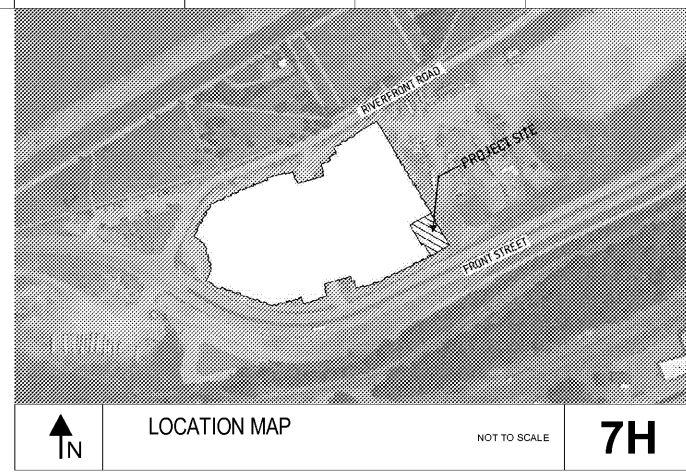


- A. BIDS TO BE SUBMITTED BROKEN OUT INTO THREE NUMBERS.
1. BASE BID (OWNERS COSTS)
 2. BASE BID WITH NOTED DEDUCT ALTERNATE REPLACEMENT PRODUCTS (SEE SUMMARY BELOW AND SPECIFICATIONS FOR ADDITIONAL INFORMATION)
 3. LANDLORD COSTS
- B. BIDDING CONTRACTORS TO NOTE THAT BUILDING SHELL IS CURRENTLY UNDER CONSTRUCTION. INSTALLATION OF NORTH EASTERN BAY OF GLASS WILL NOT BE INSTALLED PRIOR TO CONSTRUCTION. BAY OF GLASS TO REMAIN EMPTY TO ALLOW FOR INSTALLATION OF SHIPPING CONTAINERS.
- C. FURNITURE IS NOT IN SCOPE SHEETS A601 & A602. FURNITURE SHOWN TO CLARIFY USE OF SPACES. DO NOT INCLUDE IN GENERAL CONTRACTOR BIDS.
- D. SEE CHART BELOW FOR A SUMMARY OF WORK WITH ASSOCIATED RESPONSIBLE PARTY. THIS LIST IS NOT INTENDED TO COVER. REFERENCE DRAWINGS FOR CLARIFICATION.

BID RESPONSIBILITY - BREAKOUT	
LANDLORD	OWNER
X	CONCRETE SLAB - 4" REINFORCED CONCRETE SLAB ON 6 MIL VAPOR BARRIER -
X	CONCRETE SLAB POLISHING
X	ENTRY DOORS AND HARDWARE - CARD ACCESS, RE. HARDWARE SPEC
X	ROOF - ROOF PROVIDED AS PART OF MIXED USE BUILDING
X	HVAC ROOFTOP UNIT - PROVIDED AS PART OF MIXED USE BUILDING AND DUCT STUBBED TO SPACE. RE. MECHANICAL
X	INTERIOR DUCTWORK AND MECHANICAL EQUIPMENT INSIDE OF TENANT SPACE
X	ROOF PENETRATIONS
X	ROOF CURBS AND FLASHINGS
X	INTERIOR EXHAUST DUCT (RESTROOM) LOCATION
X	GAS METER (IF APPLICABLE)
X	SANITARY SEWER AND DOMESTIC WATER MAIN LINES
X	SANITARY SEWER LINE CONNECTION
X	MOP SINK
X	DRINKING FOUNTAIN
X	FIRE PROTECTION (BASIC SYSTEM FOR LIFE SAFETY) RAISER AND MAIN LINE ONLY PROVIDED BY LANDLORD. LANDLORD SHALL STUB THE FIRE PROTECTION MAIN LINES TO THE PREMISES. FIRE PROTECTION SYSTEM TO BE SUPPLIED BY LANDLORD AND MODIFIED BY TENANT (PORT KC) PER CODE. LANDLORD TO PROVIDE MAIN LINE AND ADDITIONAL HEADS PER CODE FOR "SHELL SPACE" ONLY. OWNER TO SUPPLY ALL BRANCH LINES AND ADDITIONAL HEADS NEEDED BASED ON OWNERS SPACE PLANDESIGN.
X	ELECTRICAL CONDUIT W/ PULL STRING/FEEDER WIRE AND SERVICE SWITCH
X	ELECTRICAL PANEL AND TRANSFORMER (PER LANDLORDS LOCATION)
X	METER BASE IN LANDLORDS ELECTRICAL ROOM
X	WATER METER
X	ELECTRICAL METER
X	PLUMBING STUB-UPS (PER LANDLORD LOCATION)
X	TELEPHONE CONDUIT W/ PULL STRING (PER LANDLORD LOCATION)
X	EXTERIOR SIGNAGE JUNCTION BOX AS DIRECTED BY OWNER (PORT KC)
X	REAR EXIT DOOR AND HARDWARE - CARD ACCESS, RE. HARDWARE SPEC



PORT KC OFFICES

1000 BERKLEY PARKWAY - SPACE E177
KANSAS CITY, MO 64106



BIDDING INFORMATION SUMMARY 13G

- ALTERNATE #1 - PROVIDE PERFORMANCE & LABOR/MATERIAL PAYMENT BONDS (SEE SPECIFICATIONS)
- ALTERNATE #2 - INTERIOR ALUMINUM DOORS AND FRAMES (SEE SPECIFICATIONS)
- ALTERNATE #3 - PROVIDE SPRAY-APPLIED FIRE-RESISTIVE MATERIAL (SEE SPECIFICATIONS)

ALTERNATES 13F

THE FOLLOWING DRAWINGS WILL BE SUBMITTED UNDER SEPARATE COVERS AT A FUTURE DATE (AS REQUIRED):

- FIRE PROTECTION
- EXTERIOR SIGNAGE

DEFERRED SUBMITTALS 13E

- PROVIDE EACH SUB-CONTRACTOR WITH A COMPLETE SET OF CONTRACT DOCUMENTS FOR THEIR USE AND REFERENCE AND VERIFY THEIR RECEIPT UPON REQUEST.
- FILL AND PATCH EXPOSED HOLES OR CRACKS IN FLOOR OR WALL SURFACES AND FINISH LEVEL, SMOOTH AND FLUSH WITH ADJACENT SURFACES.
- COORDINATE AND VERIFY CLEARANCES REQUIRED OF PRODUCTS AND EQUIPMENT FOR DELIVERY, INSTALLATION USE AND OPERATION.
- MAINTAIN DIMENSIONS INDICATED AS "HOLD" ACCURATELY AS NOTED.
- BRACE PARTITIONS, CEILINGS, SOFFITS, PLATFORMS, SUSPENDED CONSTRUCTION AND SIMILAR ELEMENTS TO STRUCTURAL ELEMENTS - EVEN IF NOT INDICATED. DO NOT BRACE TO THE ROOF DECK, PLUMBING OR SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUITS OR SIMILAR ELEMENTS.
- INSTALL FRAMING AND FURRING TO AVOID CONFLICTS OR INTERFERENCES WITH CONCEALED OR RECESSED PLUMBING, MECHANICAL, ELECTRICAL OR CONTROL COMPONENTS.
- VERIFY FLATNESS AND LEVELNESS OF CONCRETE SLABS OR ELEVATED FLOORS BEFORE APPLICATION OF FINISHES. PROVIDE SELF-LEVELING TOPPING OR UNDERLAYMENT AT NEW CONCRETE FLOORS IF TOLERANCE EXCEEDS SPECIFIED FLATNESS OR LEVELNESS REQUIREMENTS.
- REFER TO FINISH / MATERIAL / COLOR SCHEDULE FOR EXPOSED FINISHES OF BUILDING MATERIALS, WALLS, FLOORS, CEILING, DOORS, TRIM, CASEWORK, COUNTERTOPS, AND SIMILAR CONSTRUCTION ELEMENTS.
- PROVIDE CONCEALED 2x6 MIN WOOD BLOCKING WITHIN DRYWALL CONSTRUCTION FOR SECURE ANCHORAGE OF CASEWORK CABINETS, WALL MOUNTED SHELVES, GRAB-BARS, DOOR STOPS, WOOD FRAMES AND SIMILAR ELEMENTS.
- PROVIDE FIRE-RETARDANT TREATED (FRT) WOOD BLOCKING WHEN CONCEALED WITHIN DRYWALL PARTITIONS AND WHEN CONCEALED ABOVE CEILING (NON-COMBUSTIBLE CONSTRUCTION).
- PROVIDE PRESERVATIVE-TREATED WOOD BLOCKING WHEN IN CONTACT WITH MASONRY OR CONCRETE OR WHEN ASSOCIATED WITH ROOFING OR FLASHING WORK.
- PROVIDE MIN 3/4 INCH THICK FIRE-RETARDANT TREATED PLYWOOD AT ELECTRICAL OR PHONE/DATA PANELS.
- PROVIDE AHJ APPROVED FIRESTOPPING SYSTEMS AT TOP AND AT PENETRATIONS OF FIRE-RATED CONSTRUCTION.
- PROVIDE JOINT SEALS TO MAINTAIN A PERMANENT, AIR-TIGHT, VERMIN- AND WATER-PROOF BUILDING ENVELOPE THROUGHOUT THE PROJECT. PROVIDE FIRE-SEALANTS AT FIRE-RATED PARTITIONS, ANCHORING POINTS, GROUND-RATED PARTITIONS, AS APPLICABLE.
- PROVIDE TEMPERED SAFETY GLASS WITHIN FIVE (5) FEET OF A DOOR IN ANY POSITION AND WITHIN 18 INCHES OF THE DOOR FROM THE FINISH FLOOR.
- PROVIDE DOOR HARDWARE AT EACH SWINGING DOOR TO INCLUDE 3 HINGES AND LOCKS. REFER TO FRAME SILENERS AND WALL STOP MINIMUM IF NOT OTHERWISE SCHEDULED.
- INSTALL HOLD-DOWN CLIPS AT CEILING PANELS WITHIN TWENTY (20) FEET OF AN ENTRANCE OR EXITANCE TO A REAR EXTERIOR DOOR.
- LOCATE FLOOR FINISH CHANGES AND TRANSITIONS UNDER CENTER OF DOORS UNLESS NOTED OTHERWISE.
- PAINT FINISH ALL EXPOSED SURFACES THROUGHOUT THE BUILDING UNLESS PRE-FINISHED OR INTERIORLY FINISHED OR WHERE A NATURAL FINISH IS INDICATED.
- PAINT FINISH ELECTRICAL & CONTROL PANELS WHEN NOT LOCATED WITHIN ELECTRICAL OR MECHANICAL ROOMS.

GENERAL NOTES 13A

OWNER: PORT KC
300 WYANDOTTE ST
KANSAS CITY, MO 64105
PHONE: 816.559.3750
CONTACT: MATT PROUT

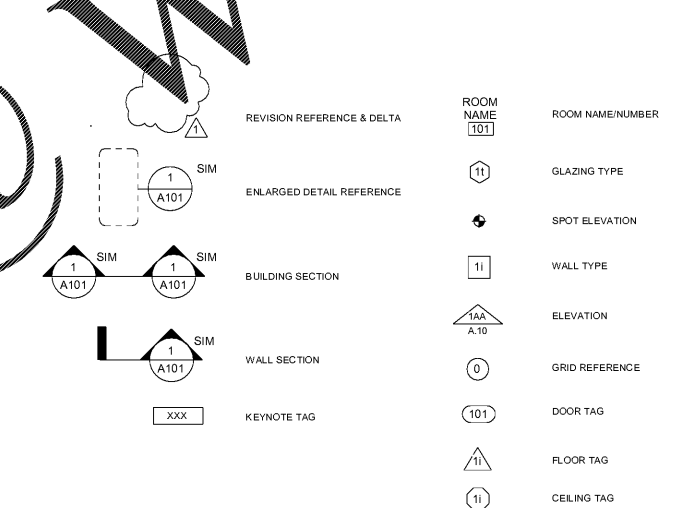
ARCHITECT: KEM STUDIO
1515 GENESEE ST SUITE 11
KANSAS CITY, MO 64102
PHONE: 816.807.0318
CONTACT: ZACK ARADT

CONTRACTOR: TO BE DETERMINED

STRUCTURAL ENGINEER: JAMES S.E.I.
823 ROBINSON ST
OVERLAND PARK, KS 66204
PHONE: 913.214.2169
CONTACT: PAUL SPEARS

MEP ENGINEER: KMR ENGINEERING
1100 SOUTH ST
KANSAS CITY, MO 64115
PHONE: 816.492.2400
CONTACT: ANN PERATT

CONTACT INFORMATION 7E



STANDARD SYMBOLS 7A

RENDERING - FOR REFERENCE ONLY

G	GENERAL
G000	COVER SHEET
S	STRUCTURAL
S001	STRUCTURAL GENERAL NOTES
S030	CONCRETE TYPICAL DETAILS
S050	STEEL TYPICAL DETAILS
S101	FIRST FLOOR STRUCTURAL PLAN
S102	MEZZANINE STRUCTURAL PLANS
S500	STRUCTURAL DETAILS
S501	STRUCTURAL DETAILS
A	ARCHITECTURAL
A001	CODE ANALYSIS & STANDARD ABBREVIATIONS
A002	WALL / CEILING / FLOOR TYPES
A003	STANDARD ADA CLEARANCES
A004	STANDARD ADA CLEARANCES
A005	STANDARD ADA CLEARANCES
A101	FIRST FLOOR PLAN
A102	MEZZANINE FLOOR PLAN
A111	FIRST FLOOR REFLECTED CEILING PLAN
A112	MEZZANINE REFLECTED CEILING PLAN
A201	EXTERIOR ELEVATIONS
A301	BUILDING SECTION
A311	WALL SECTIONS
A312	WALL SECTIONS
A401	ENLARGED PLANS
A421	INTERIOR ELEVATIONS
A422	INTERIOR ELEVATIONS
A423	INTERIOR ELEVATIONS
A424	INTERIOR ELEVATIONS
A425	INTERIOR ELEVATIONS
A451	INTERIOR DETAILS - MILLWORK
A454	INTERIOR DETAILS - GLAZING
A453	INTERIOR DETAILS - CONTAINER
A462	INTERIOR DETAILS - MILLWORK
A465	INTERIOR DETAILS - RECEPTION DESK
A502	VERTICAL CIRCULATION - DETAILS
A501	VERTICAL CIRCULATION - STAIR 123 DETAILS
A601	FIRST FLOOR FFE PLAN
A602	MEZZANINE FFE PLAN
A603	DOOR SCHEDULE, FRAME & DOOR TYPES AND DETAILS
A604	SCHEDULES & LEGENDS
A701	INTERIOR STOREFRONT TYPES
MEP	MEP GENERAL
MEP001	THROUGH PENETRATION DETAILS
MEP101	ROOF PLAN
M	MECHANICAL
M001	MECHANICAL COVER SHEET
M101	HVAC PLAN
M201	MECHANICAL SCHEDULES
M202	MECHANICAL SCHEDULES
M301	MECHANICAL DETAILS
M401	MECHANICAL CONTROLS
P	PLUMBING
P101	DOMESTIC WATER PLAN
P201	WASTE & VENT PLAN
P301	PLUMBING SCHEDULES
P401	PLUMBING DETAILS
E	ELECTRICAL
E001	ELECTRICAL COVER SHEET
E101	LIGHTING PLAN
E201	POWER PLAN
E301	ELECTRICAL PANELBOARD SCHEDULES
E401	ELECTRICAL SCHEDULE / DETAILS

SHEET INDEX 1A

KEM STUDIO
1515 GENESEE ST SUITE 11 KANSAS CITY MO 64102
816 756 1808 | 816 756 1828

www.kemstudio.com

RELATED DOCUMENTS: This Drawing may be part of an integrated set of Construction Documents, including the enclosed Agreement, the General and Supplemental Conditions of the Contract, Division-01 "General Requirements", and applicable "technical" Specification Sections. The Contract Documents are complementary when used together as a binding agreement by all. Other documents affecting the Work may include Geotechnical recommendations, Manufacturer's Product Data and installation requirements, Shop Drawings and Coordination Drawings. Failure to review applicable documents does not reduce the obligation to provide complete and operation building components.

THE INTENT OF THE CONTRACT DOCUMENTS is to include all items necessary for completion of the construction Work indicated. Except as otherwise indicated, provide (furnish and install) all products, materials, equipment, options, items or accessories necessary for proper operation and use, in accordance with product manufacturer's requirements, and comply with applicable laws, codes and ordinances of Authorities Having Jurisdiction (AHJ).

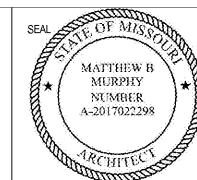
VERIFY EXISTING CONDITIONS AND DIMENSIONS prior to construction. Calculate and measure dimensions - DO NOT SCALE THE DRAWINGS unless as directed by the Architect. Dimensions indicated are to the face of a material unless otherwise indicated. Application of a material or equipment item to Work installed by others constitutes acceptance of that Work, and assumption of responsibility for subsequent satisfactory installation.

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PORT KC OFFICES

1000 BERKLEY PARKWAY - SPACE E177
KANSAS CITY, MO 64106

PROJECT NUMBER: A1718



ISSUED FOR:
P.R. #01 - SHELL OPENINGS 01.05.2018
PERMIT 01.12.2018

COVER SHEET

G000