

- LAYOUT NOTES:**
1. LBYP, INC. SHALL NOT HAVE AUTHORITY OVER THE SITE OR BUILDING CONTRACTOR'S WORK OR RESPONSIBILITIES. LBYP IS NOT RESPONSIBLE FOR SITE SAFETY PROCEDURES OR METHODS OF CONSTRUCTION.
 2. ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST. CONTRACTOR MUST HAVE EXISTING UTILITIES LOCATED BY UNDERGROUND LINE LOCATORS AS WELL AS FIELD VERIFIED BY ONSITE PERSONNEL PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LBYP IMMEDIATELY.
 3. EXISTING UTILITIES TO REMAIN MAY BE LOCATED WITHIN PROPOSED DEMOLITION AREAS. CONTRACTOR SHALL USE EXTREME CAUTION WHILE WORKING IN THESE AREAS TO ENSURE NO UTILITY SERVICE INTERRUPTIONS TO FACILITIES THAT REMAIN OR TO ADJACENT PROPERTIES.
 4. ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE REMOVED UNLESS SPECIFICALLY NOTED "TO REMAIN".
 5. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 6. CONTRACTOR SHALL VERIFY SITE BOUNDARY AND EXISTING TOPOGRAPHY. NOTIFY LBYP OF ANY DISCREPANCIES PRIOR TO SUBMITTING PRICES OR ORDERING MATERIALS.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE OBTAINED PRIOR TO CONSTRUCTION.
 9. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE DEVELOPER AND PERFORMED BY GONZALEZ STRENGTH & ASSOCIATES, INC.
 10. TOPOGRAPHIC INFORMATION WAS FURNISHED IN DGN AND DWG FORMAT.
 11. ALL HANDICAP RAMPS, SIGNS, SYMBOLS, AND PAINTED ISLANDS AND ACCESS ROUTES MUST CONFORM TO THE LATEST ADA REQUIREMENTS.
 12. THE MAXIMUM SLOPE OF HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. SLOPE IN THE DIRECTION OF TRAVEL FOR ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE. ALL DIMENSIONS AND CLOSURES SHOWN ARE TO THE OUTSIDE FACE OF BUILDING TO THE BACK OF CURB, OR TO THE EDGE OF SURFACE UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC BUILDING INFORMATION.
 13. STRIPING TO BE PER THE LATEST EDITION OF THE MUTCD UNLESS NOTED OTHERWISE.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A SITE CONSTRUCTION TRAFFIC CONTROL PLAN AND OBTAINING ANY REQUIRED APPROVALS FROM THE LOCAL JURISDICTIONAL AUTHORITY. THE SITE CONSTRUCTION TRAFFIC CONTROL PLAN SHALL TAKE INTO ACCOUNT THE ENTERING AND EXITING OF CONSTRUCTION TRAFFIC ONTO THE ROADWAY AND THE IMPACT TO THE FLOW OF TRAFFIC. THIS PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD. THIS SITE CONSTRUCTION TRAFFIC CONTROL PLAN SHALL BE IN ADDITION TO ANY TRAFFIC CONTROL PLAN PROVIDED IN THE PLAN SET FOR ROADWAY IMPROVEMENTS.
 15. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ELEVATIONS OF ALL AT-GRADE STRUCTURES AND UTILITIES TO REMAIN (VALVE BOXES, MANHOLES, INLETS, VAULTS, ETC) TO MATCH PROPOSED FINISHED GRADES.

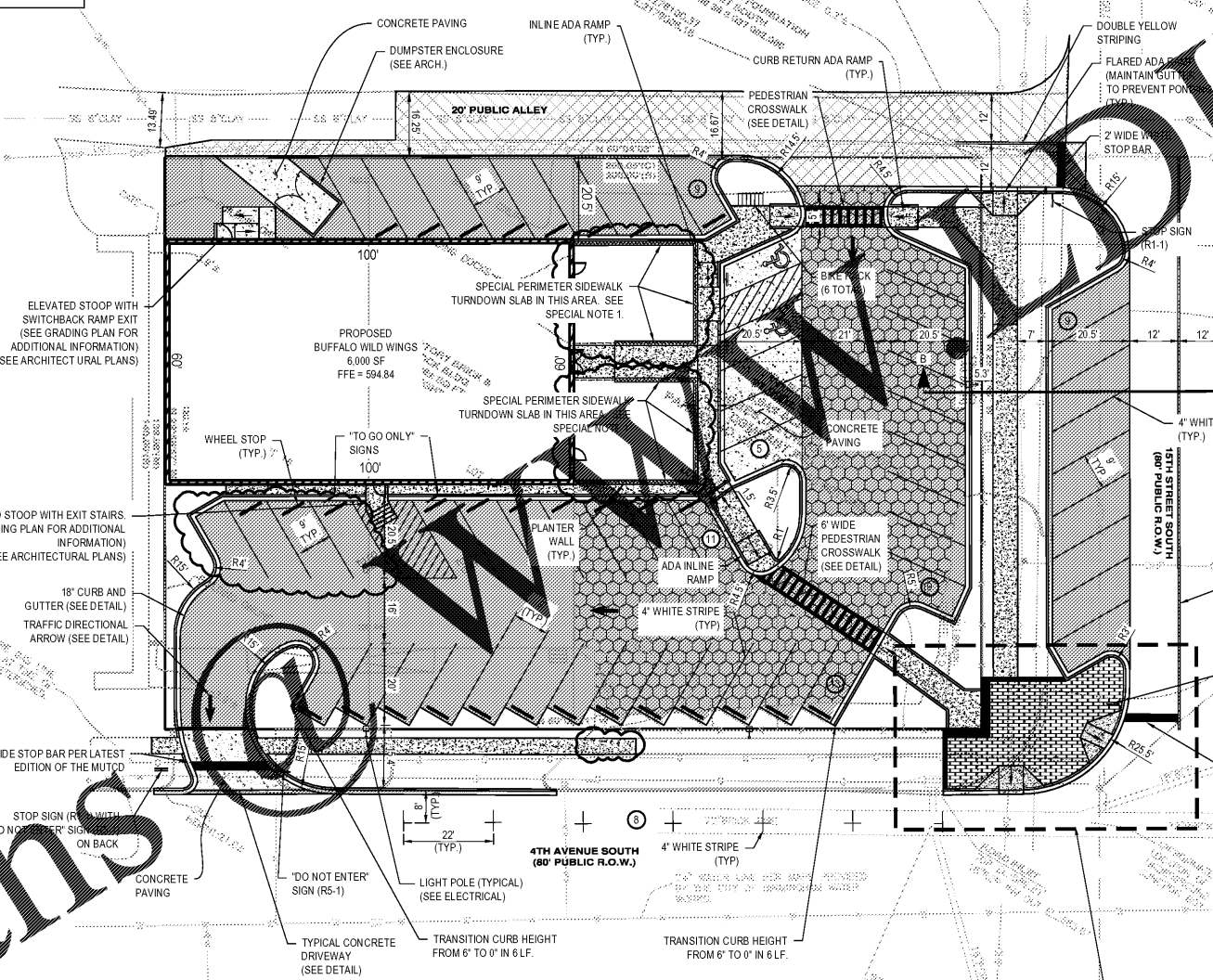
LBYP ENGINEERS
Birmingham, Alabama
Huntsville, Alabama
Tomball, Florida
www.lbyp.com

LBYP, Inc.
Civil and Structural Engineers
716 South 30th Street
Birmingham, AL 35233
Phone (205) 251-4500
Structural Fax (205) 324-4181
Civil Fax (205) 488-0226

© copyright 2017
These drawings and design intent are the work property of LBYP Inc. which may not be reproduced without written permission.

LBYP Project Number
102-17-079

ALABAMA LICENSE
No. 30404
Professional Engineer
Lamar H. Tucker
1997



SITE LAYOUT LEGEND

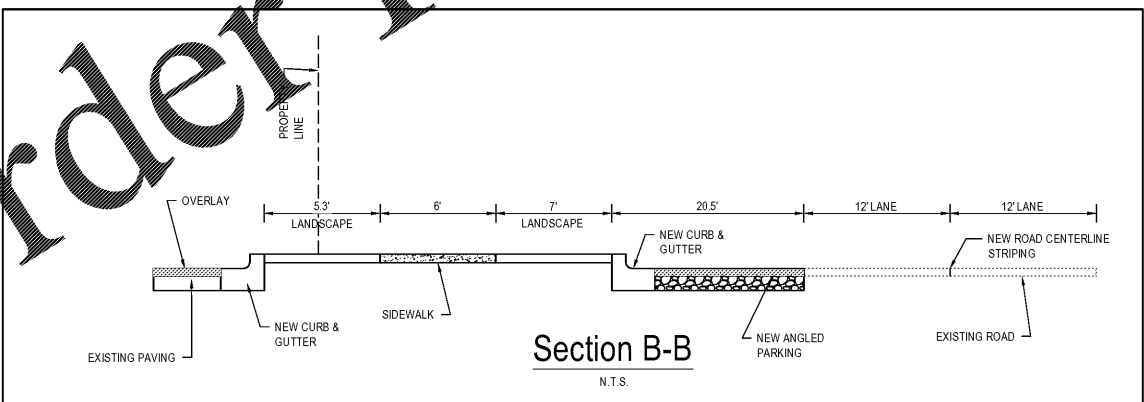
[Symbol]	STANDARD DUTY ASPHALT PAVING (SEE DETAIL)
[Symbol]	HEAVY DUTY ASPHALT PAVING (SEE DETAIL)
[Symbol]	ASPHALT MILL AND OVERLAY (1.5" THICKNESS)
[Symbol]	CONCRETE SIDEWALK (SEE DETAIL)
[Symbol]	CONCRETE PAVING (SEE DETAIL)
[Symbol]	ADA SYMBOL (SEE DETAIL)
[Symbol]	ADA OR TRAFFIC SIGN
[Symbol]	DIRECTIONAL ARROW (SEE DETAIL)
[Symbol]	WHEEL STOP (SEE DETAIL)
[Symbol]	SITE LIGHTING (SEE ELECTRICAL)

CITY OF BIRMINGHAM PARKING MODIFICATION
APPROVED 12-14-17 CASE ZBA2017-00094

PARKING DATA

PARKING CALCULATIONS	
1 SPACE PER 100 SF OF GROSS BUILDING AREA	60
10% REDUCTION FOR 6 BIKE RACKS AND MASS TRANSIT STOP NEARBY	-6
TOTAL OFF STREET PARKING REQUIRED	54
TOTAL REQUIRED ACCESSIBLE SPACES	3
TOTAL REQUIRED VAN ACCESSIBLE SPACES	1
PARKING STUDY (DURING BWW PEAK HOURS)	
TOTAL OFF STREET PARKING PROVIDED (BWW LOT)	47
TOTAL ON STREET PARKING (WITHIN 1320') PARKING	936
TOTAL ON STREET PARKING OCCUPIED	577
TOTAL ON STREET PARKING UNOCCUPIED	360
TOTAL PARKING PROVIDED	407

- SPECIAL NOTES:**
1. TURN DOWN SLAB IN THIS AREA SHALL EXTEND 1' BELOW FINISHED GRADE AT BOTTOM OF WALL. CONTRACTOR SHALL INSTALL BARRIER RAIL AT TOP OF TURN DOWN AS DIRECTED BY ARCHITECTURAL PLANS. WIDTH OF TURN DOWN SHALL BE 12' AND CONTAIN #4 CORNER BARS CONTINUOUS ALONG SLAB EDGE AND BOTTOM OF TURN DOWN.
 2. ALL ADA HANDICAP RAMPS WITHIN RIGHT-OF-WAY OR NEAR PROPERTY LINE SHALL HAVE DETECTABLE WARNING STRIPS OR TRUNCATED DOMES MEETING 2010 ADA REQUIREMENTS.



Order Plans

Buffalo Wild Wings
Realty Link
1416 4th Avenue South, Birmingham, AL

Project Name: **SITE LAYOUT PLAN**

Date: 2-9-2018

Checked By: BLH Drawn By: MTH

Sheet Number: **C2.0** Sequence: 3 Total: 9