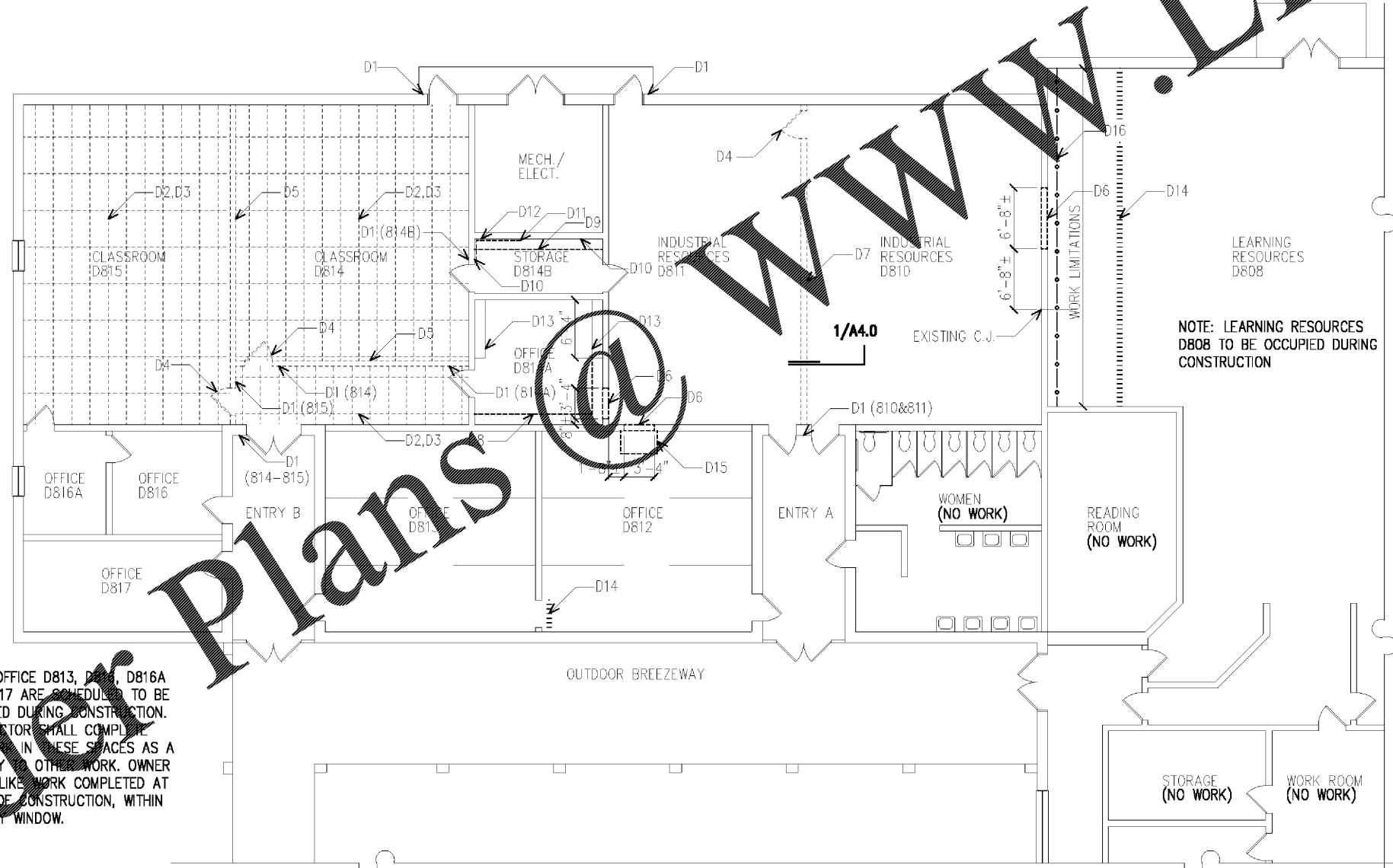


GENERAL DEMOLITION NOTES

- G1. THIS CONTRACTOR WILL BE RESPONSIBLE FOR DOCUMENTING EXISTING DAMAGE AND REPORTING IN BOTH PHOTOGRAPHIC AND WRITTEN FORMAT TO THE ARCHITECT PRIOR TO MOBILIZATION. THIS CONTRACTOR WILL BE RESPONSIBLE FOR ANY KNOWN DAMAGE BY HIMSELF OR HIS SUB CONTRACTORS. THIS CONTRACTOR MAY BE RESPONSIBLE FOR ANY DAMAGE FOUND WITHOUT EXPLANATION. ANY DAMAGE CAUSED BY THIS CONTRACTOR OR HIS SUB CONTRACTORS SHALL BE REPLACED TO CURRENT STANDARDS AT THIS CONTRACTOR'S EXPENSE.
- G2. OWNER WILL REMOVE AND SALVAGE INCIDENTAL WALL MOUNTED ITEMS PRIOR TO CONTRACTOR BEGINNING WORK. ITEMS INCLUDE MARKER/CHALK BOARDS, DISPLAY CASES, PROJECTION SCREENS, TV'S, ETC. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL/RELOCATION OF EXISTING WALL MOUNTED PLUMBING, MECHANICAL AND ELECTRICAL DEVICES AND FIXTURES AS REQUIRED.
- G3. CONTRACTOR SHALL PROVIDE TEMPORARY DUST PARTITION FROM FLOOR TO CEILING. PROVIDE CARPET AND WALL PROTECTION. PROTECT ALL EXISTING FINISHES TO REMAIN.
- G4. SALVAGE 2X4 CEILING TILE, NOT TO BE REINSTALLED, AND REPLACE MISCELLANEOUS EXISTING DAMAGED OR STAINED CEILING TILE THROUGHOUT WORK AREAS.
- G5. REFER TO EXISTING ROOM FINISH SCHEDULE, SHEET A3.0 FOR DESCRIPTION OF MISCELLANEOUS FINISHES TO BE REMOVED.
- G6. CONTRACTOR SHALL COORDINATE SAW CUTTING OF CMU WITH VERTICAL MASONRY JOINTS.
- G7. CONTRACTOR SHALL ENSURE CEILING LIGHT FIXTURES TO BE RE-USED ARE REMOVED PRIOR TO REMOVING THE EXISTING CEILING.
- G8. CONTRACTOR SHALL PROTECT ALL EXISTING SMOKE DETECTORS DURING DEMOLITION/CONSTRUCTION. FALSE ALARM FEES DURING THE CONTRACT PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

DEMOLITION KEYNOTES

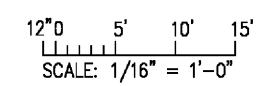
- D1. REMOVE EXISTING ROOM NUMBER IDENTIFICATION SIGN. CLEAN AND SALVAGE FOR RE-USE. SIGNAGE NOT INDICATED FOR RE-USE ON REVISED FLOOR PLAN SHALL BE DISPOSED OF.
- D2. REMOVE EXISTING LAY-IN CEILING TILE COMPLETE AND SALVAGE NON-DAMAGED TILE FOR RE-USE.
- D3. REMOVE EXISTING CEILING GRID COMPLETE.
- D4. REMOVE EXISTING DOOR, METAL DOOR FRAME AND HARDWARE COMPLETE.
- D5. REMOVE EXISTING METAL FRAMED GYP. BOARD WALL AND BASE COMPLETE.
- D6. SAW CUT AND REMOVE EXISTING CMU WALL. ROUGH OPENING SIZE INDICATED. CONTRACTOR TO OPEN 8" BEYOND EACH SIDE TO GROUT AND TOOTH IN NEW MASONRY.
- D7. REMOVE EXISTING METAL FRAMED GYP. BOARD WALL AND BASE UP TO WITHIN 6" OF EXISTING CEILING TO REMAIN. SUPPORT EXISTING WALL/HEADER SECTION TO REMAIN. PROVIDE SUPPORT BRACING AND FRAMING. SEE DETAIL 1/16" = 1'-0".
- D8. SELECTIVELY REMOVE EXISTING BUILT-IN BOOK CASE STYLE SHELVING AND ALL SHELVING FROM CMU WALL WHERE FASTENERS AND BRACKETS ARE REMOVED. REINSTALL BRACKETS AT SECTION OF CASE WORK TO REMAIN TO SECURE TO WALL.
- D9. REMOVE EXISTING BUILT-IN SHELVING COMPLETE.
- D10. REMOVE EXISTING PLUMBING SUPPLY AND WASTE BACK TO WALL/FLOOR AND CAP WITHIN WALL/FLOOR.
- D11. REMOVE EXISTING CERAMIC WALL TILE FROM EXISTING CMU WALL. APPROXIMATELY 60SF.
- D12. EXISTING SERVER GEAR AND CABLING TO REMAIN. SUPPORT AND PROTECT SYSTEM FROM DUST. MAINTAIN IN OPERATION DURING PERFORMANCE OF THE WORK.
- D13. EXISTING BUILT-IN WOOD SHELVING TO REMAIN.
- D14. PROVIDE TEMPORARY DUST PARTITION AND PROTECTIVE MEASURES FOR EXISTING FLOOR CEILING AND WALL FINISHES TO REMAIN.
- D15. EXISTING OVERHEAD PTAC UNIT TO REMAIN.
- D16. SURFACE MOUNTED WIRE MOULD AND DATA DEVICES TO BE REMOVED BY OWNER. CONTRACTOR TO TOUCH-UP PAINT TO MATCH EXISTING WHERE MOULDING AND DEVICES ARE REMOVED.



NOTE: OFFICE D813, D814, D816A AND D817 ARE SCHEDULED TO BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL COMPLETE ALL WORK IN THESE SPACES AS A PRIORITY TO OTHER WORK. OWNER WOULD LIKE WORK COMPLETED AT START OF CONSTRUCTION, WITHIN A 3 DAY WINDOW.

NOTE: LEARNING RESOURCES D808 TO BE OCCUPIED DURING CONSTRUCTION

1 DEMOLITION FLOOR PLAN - BUILDING #800
SCALE 1/16" = 1'-0"



Stogner Architecture, PA
ARCHITECTURE - CONSTRUCTION MANAGEMENT - DESIGN BUILD
615 East Broad Avenue, Rockingham, North Carolina, 28379
Phone 910-895-8874 Fax 910-895-1111

NORTHEASTERN TECHNICAL COLLEGE
BUILDING #800 RENOVATION
SOUTH CAROLINA
CHERAW

DEMOLITION FLOOR PLAN: BUILDING #800
44208\ A1.0.aec
COMM. NO.: 44208
DRAWN BY: FJF
CHECKED BY: AWS
DATE: JAN. 19, 2018
SHEET NO.
A1.0