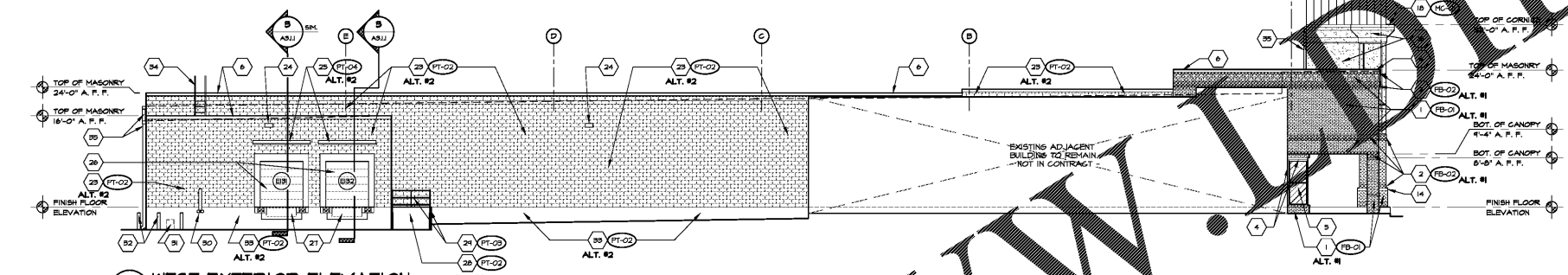
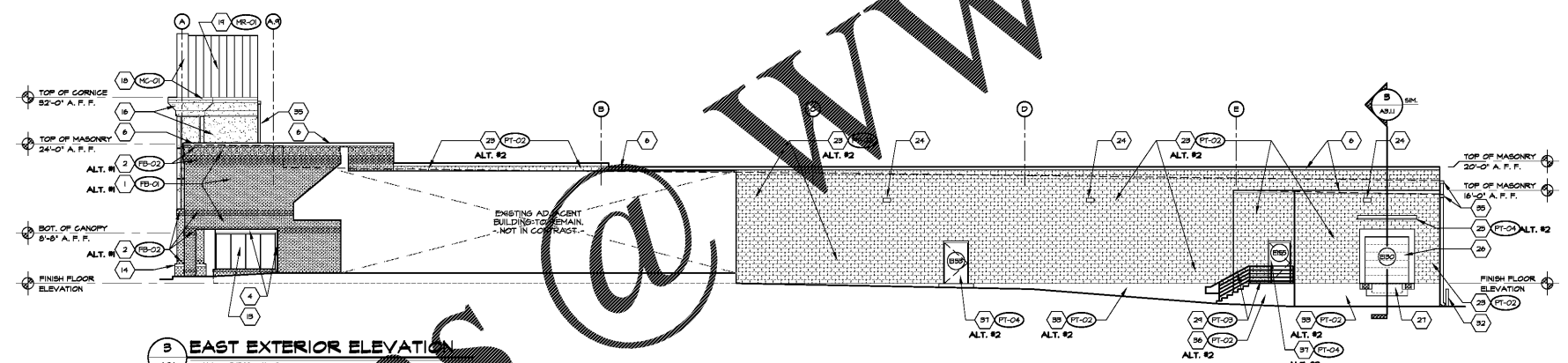


**1 SOUTH EXTERIOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**2 WEST EXTERIOR ELEVATION**  
 SCALE: 3/32" = 1'-0"



**3 EAST EXTERIOR ELEVATION**  
 SCALE: 3/32" = 1'-0"

- GENERAL ELEVATION NOTES:**
- EXISTING FIELD BRICK VENEER, TRIPLE BASKET HEAVY BRICK PATTERN BORDERS & BOWTIE COURSES TO REMAIN - ALTERNATE NO. 1 - STAIN BRICK, DO NOT STAIN MORTAR JOINTS.
  - EXISTING BRICK COLDLER AND/OR BOWTIE COURSES WITH ACCENT COLOR TO REMAIN - ALTERNATE NO. 1 - STAIN BRICK NEH ACCENT COLOR (SHADED AREA), DO NOT STAIN MORTAR JOINTS.
  - NEW FIELD BRICK VENEER TO MATCH EXISTING BRICK SIZE, COLOR AND TEXTURE - ALTERNATE NO. 1 - STAIN BRICK, DO NOT STAIN MORTAR JOINTS - TOOTH NEW BRICK, NOT EXISTING UNLESS NOTED OR DETAILED OTHERWISE.
  - EXISTING ALUMINUM STOREFRONT FRAME AND INSULATED OPAQUE METAL PANELS TO REMAIN - CLEAN.
  - EXISTING TUBE STEEL FRAMING TO REMAIN - CLEAN.
  - EXISTING METAL COPING TO REMAIN - CLEAN.
  - NEW PHARMACY HALL-UP WINDOW UNIT - SEE ASD-0A.
  - NEW SURFACE MOUNTED DOUBLE-ACTION SLIDING DOOR. REFERENCE SPECIFICATIONS. GENERAL CONTRACTOR PROVIDES & INSTALLS. NEW DOOR & FRAME FINISH TO MATCH EXISTING ALUMINUM JOINTS.
  - TOOTH-NEH BRICK VENEER AND CMU INTO EXISTING CMU WALL. MATCH EXISTING BRICK VENEER SIZE, COLOR AND TEXTURE. NEW BRICK TO MATCH EXISTING BRICK VENEER SIZE, COLOR AND TEXTURE. ALTERNATE NO. 1 - STAIN BRICK, DO NOT STAIN MORTAR JOINTS.
  - WELL EXISTING OPENING WITH NEW BRICK VENEER AND CMU INTO EXISTING CMU WALL PROVIDING A 3'-4 1/4" x 7'-4 1/4" FINISHED OPENING - NEW BRICK TO MATCH EXISTING BRICK VENEER SIZE, COLOR AND TEXTURE - ALTERNATE NO. 1 - STAIN BRICK, DO NOT STAIN MORTAR JOINTS.
  - NEW ALUMINUM STOREFRONT DOOR AND FRAME - NEW DOOR & FRAME FINISH TO MATCH EXISTING ALUMINUM STOREFRONT.
  - EXISTING SIGNAGE TO REMAIN - SIGNAGE MOUNTED AT BRICK VENEER TO BE TEMPORARILY REMOVE FOR INSTALLATION OF NEW BRICK. STAIN REPAIRS, SIGNAGE ONCE STAINING IS COMPLETE AND DRY TO MATCH EXISTING MOUNTING HEIGHT AND LOCATION - GENERAL CONTRACTOR TO REMOVE SIGNAGE IN GOOD WORKING ORDER AND STORE IN A SAFE LOCATION DURING CONSTRUCTION - CLEAN.
  - EXISTING ALUMINUM STOREFRONT WINDOW AND GLAZING TO REMAIN - CLEAN.
  - EXISTING PRE-CAST CONCRETE SILL TO REMAIN - CLEAN.
  - NEW IN-PAINT BEHIND DOORS, GLAZING AND FRAME, EXISTING TRANSOM & GLAZING TO REMAIN - CLEAN FRAME AND GLAZING.
  - EXISTING EIFS TO REMAIN.
  - EXISTING ALUMINUM STOREFRONT SKYLIGHT & GLAZING TO REMAIN - CLEAN.
  - REMOVE EXISTING 'GREEN' COLORED SKYLIGHT & FLASHING REPLACE WITH NEW PRE-FINISHED METAL COPING TO MATCH EXISTING COPING AND FLASHING SIZE AND PROFILE.
  - REMOVE EXISTING 'GREEN' COLORED STANDING SEAM METAL ROOF. REPLACE WITH NEW PRE-FINISHED STANDING SEAM METAL ROOF. PANELS TO MATCH EXISTING ROOF PANEL SIZE SPACING AND PROFILE. INSTALL NEW ROOF PANELS OVER NEW 80 LBS. BUILDING FELT OVER EXISTING FLYWOOD DECKING.
  - EXISTING STEEL PIPE GUARDRAIL TO REMAIN - CLEAN.
  - EXISTING PORCELAIN ACCENT TILE TO REMAIN.
  - EXISTING TUBE STEEL FRAMING IN MAIN ENTRY FEATURE TO REMAIN - SAND, CLEAN, PREP AND PAINT.
  - EXISTING CMU BLOCK TO REMAIN - ALTERNATE NO. 2 - CLEAN, PREP AND PAINT ALL CMU. NOTE: DO NOT PAINT ADJACENT BUILDING, ONLY PAINT KROGER STORE.
  - REMOVE EXISTING EXTERIOR HALL MOUNTED LIGHT FIXTURES TO REMAIN.
  - EXISTING METAL AWNING TO REMAIN - ALTERNATE NO. 2 - CLEAN, PREP AND PAINT.
  - EXISTING STEEL ROLL-UP DOOR DOCK AND SEAL PACKAGE TO REMAIN.
  - NEW DOCK LEVELER AT DOCK DOOR.
  - EXISTING CONCRETE RAMP TO REMAIN.
  - EXISTING STEEL HANDRAIL OR GUARDRAIL TO REMAIN - SAND, CLEAN, PREP AND PAINT.
  - EXISTING SIEMENS FIRE DEPARTMENT CONNECTION TO REMAIN.
  - EXISTING GAS METER LOCATION TO REMAIN.
  - EXISTING STEEL BOLLARDS TO REMAIN.
  - EXISTING CONCRETE FOUNDATION HALL TO REMAIN - ALTERNATE NO. 1 - CLEAN, PREP AND PAINT - NOTE: DO NOT PAINT ADJACENT BUILDING, ONLY PAINT KROGER STORE.
  - EXISTING STEEL LADDER TO REMAIN.
  - EXISTING GUTTER AND DOWNSPOUTS TO REMAIN.
  - EXISTING CONCRETE STAIRS TO REMAIN, PREP AND PAINT STEEL STAIRS - ALTERNATE NO. 2 - CLEAN, PREP AND PAINT.
  - EXISTING HOLLOW METAL DOOR AND FRAME TO REMAIN - ALTERNATE NO. 1 - CLEAN, PREP AND PAINT.

**SPRINKLER LINE PAINTING NOTE:**

- EXISTING UNDER CANOPY SPRINKLER LINE TO REMAIN. REFER TO REFLECTED CEILING PLAN FOR GENERAL SPRINKLER LINE LOCATIONS - VERIFY EXACT LOCATIONS IN FIELD AND COORDINATE SCOPE OF WORK WITH KROGER PROJECT MANAGER.
- MAIN SPRINKLER LINE - SAND, CLEAN, PREP AND PAINT. EXISTING UNDER CANOPY MAIN SPRINKLER LINE NEW COLOR 'PHOENIX' TO MATCH NEW BRICK STAIN COLOR.
- BRANCH SPRINKLER LINES - SAND, CLEAN, PREP AND PAINT. EXISTING UNDER CANOPY BRANCH SPRINKLER LINE THAT CONNECT TO MAIN LINE TO MATCH EXISTING CANOPY CEILING COLOR. GENERAL CONTRACTOR TO VERIFY COLOR IN FIELD.

**NOTE:**

- GENERAL CONTRACTOR TO PROVIDE A SAMPLE PANEL (FOR REQUEST) BY KROGER PROJECT MANAGER FOR ALL NEW EXTERIOR BRICK VENEER, METAL, COLORS AND FINISHES.
- GENERAL ELEVATION NOTES:**
- SEAL AND PAINT ALL NEW AND EXPOSED EXTERIOR CONCRETE MASONRY (CMU) WALLS PER SPECIFICATION SECTION 05100. REFER TO EXTERIOR FINISH SCHEDULE FOR ALL PAINT COLOR CALL OUTS. (EXISTING CMU TO REMAIN) - SELECTED BY KROGER PH.
  - ALL EXPOSED TUBE STEEL, BASKET COLLARS, BOLLARDS, RAILINGS, BRICK ANGLE SUPPORTS, ETC. TO BE GALVANIZED STEEL AND PAINTED.
  - OVERHEAD DOOR GUIDES IN BASKET STORAGE AREA SHOULD BE MOUNTED HIGH ENOUGH TO AVOID BEING SEEN THROUGH FINISHING FROM OUTSIDE.

**GENERAL SEALANT NOTES:**

- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN MASONRY WALLS, TYPICAL DOWNCORNING #790.
- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL JUNCTIONS BETWEEN DISSIMILAR MATERIALS. USE BRICK TO EIFS DOWNCORNING #790.
- PROVIDE CONTINUOUS SEALANT AND BACKER ROD AT ALL CONTROL JOINTS IN EIFS, TYPICAL DOH #790.
- PROVIDE SEALED SHINY METAL HOOD OVER PIPE PENETRATIONS THROUGH ROOF PITCH PANELS 18" MIN. AWAY FROM ROOF TOP FINISH WITH TYPICAL COORDINATE GUT IN CURB ROOFING CONTRACTOR.
- SEAL ALL METAL TO METAL CONNECTIONS WITH DOWNCORNING #790. NOTE: NO CLEAR SILICONE SEALANT SHALL BE ALLOWED. SEAL ALL METAL COPING STANDING SEAM JOINTS WITH DOWNCORNING #790 TYP.

**EXTERIOR FINISH SCHEDULE**

CHAS. REF.	REMARKS	MANUF.	NUMBER	COLOR	FINISHED / INSTALLED BY
AS-01	ALUMINUM STOREFRONT SYSTEM	-SEE SPEC.		MATCH EXISTING 'DARK BRONZE'	GC / GC
FB-01	ALTERNATE NO. 2 - EXIST. & NEW BRICK			NEW 'RED' STAIN COLOR - SELECTED BY KROGER PH.	GC / GC
FB-02	ALTERNATE NO. 2 - EXIST. & NEW BRICK			NEW ACCENTING STAIN COLOR - SELECTED BY KROGER PH.	GC / GC
NC-01	NEW COPING	BERRIDGE		MATCH EXISTING COPING 'BROWN' COLOR - GC.	GC / GC
NR-01	NEW STANDING SEAM METAL ROOF	BERRIDGE		MATCH EXISTING COPING 'BROWN' COLOR - GC. VERIFY IN FIELD.	GC / GC
RT-01	EXISTING STEEL FRAMING & ENTRY GLAZING	SHERMAN WILLIAMS		COLOR TO MATCH STOREFRONT COPING	GC / GC
RT-02	ALTERNATE NO. 2 - CMU BLOCK & CONC. FOUNDATION	SHERMAN WILLIAMS		COLOR TO MATCH BRICK STAIN COLOR - GC. VERIFY IN FIELD.	GC / GC
RT-03	NEW & EXISTING STEEL	SHERMAN WILLIAMS	SHY021	'WELL-BRED BROWN'	GC / GC
RT-04	ALTERNATE NO. 2 - NEW & EXISTING METAL	SHERMAN WILLIAMS		COLOR TO MATCH BRICK STAIN COLOR - GC. VERIFY IN FIELD.	GC / GC

NO. REVISIONS


A With-in-the-Walls Remodel for:  
**KROGER STORE #GA-414**  
 4355 WASHINGTON ROAD, EVANS, GEORGIA 30809

**EXTERIOR ELEVATIONS, NOTES & DETAILS**

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