

GENERAL NOTES NEW WORK:

1. ALL CONTRACTORS HIRED BY LANDLORD AND TENANT OR TENANTS CONTRACTORS TO BE LICENSED CONTRACTORS AND PROVIDE W/ PROOF OF INSURANCE (CERTIFICATES)
2. GEN. CONTR. VERIFY W/ LANDLORD & TENANT THAT ALL ELEC. STUDS/ CONDUIT AND ALL PLUMBING BELOW GRADE IS INSTALLED PRIOR TO CONCRETE SLAB BEING POURED.
3. GEN. CONTR. TO VERIFY ALL REQUIRED BLOCKING W/ OWNER FOR OWNERS EQUIP. (IE. EQUIP. TOILET ACCESSORIES, ETC.)
4. ALL CONST. TO CONFORM W/ LOCAL STATE BUILDING CODES AND ORDINANCES.
5. ALL CONST. TO CONFORM W/ ADA STANDARD FOR ACCESSIBILITY.
6. ALL DOOR OFFSETS (HINGE SIDE) TO BE A MIN. OF 4" TYP.
7. ANY ROOM WITH SERVICE SINKS TO BE PROVIDED WITH EXHAUST VENTILATION PER STATE CODE. VERIFY WITH HVAC DESIGN DRAWINGS.
8. ALL MECH. EQUIP. TO BE DIRECT VENT SEALED COMBUSTION OR ELECTRIC. WATER HEATER EXACT LOCATION TO BE DETERMINED BY PLUMBING DESIGNER. SEE DRAWINGS FOR INFO.
9. F.E. = WALL MOUNTED FIRE EXTINGUISHER. MOUNT AT 4'-0" A.F.F. MAX. TO TOP OF EXTINGUISHER. FIRE EXTINGUISHER TO BE 10# ABC EXTINGUISHER TYPICAL FOR WALL MOUNTED.
10. F.E.C. = RECESSED OR SIM. RECESSED FIRE EXTINGUISHER CABINET. SEE LIFE SAFETY/ PLAN SHEETS FOR ADD. NOTES.

GENERAL RESPONSIBILITY NOTES:

1. ALL CONTRACTOR RESPONSIBLE TO REVIEW ALL NOTES THIS SHEET. THESE ARE STANDARD MATERIALS AND METHODS FOR CONSTRUCTION. THERE WILL BE NO EXTRAS EXCEPTED BY ANY CONTRACTOR FOR ANY INFO NOT REVIEWED OR MISSED FROM THIS SHEET OF GENERAL NOTES.
2. NO SUBSTITUTIONS OF MATERIALS OR GENERAL PRACTICES AS CALLED OUT WITHIN THIS DRAWING SET WITHOUT THE WRITTEN APPROVAL FROM THE OWNER, LANDLORD, TENANT, ARCHITECT, OR STRUCTURAL ENGINEER.
3. IMPORTANT CONTRACTOR NOTES: ALL CONTRACTORS TO SUBMIT DESIGN BUILD (FIRE PROTECTION) FOR OWNER ARCHITECT REVIEW PRIOR TO STARTING OF WORK. (FIRE PROTECTION DRAWINGS SUBMITTED ONLY WHERE APPLICABLE)
4. ALL CONTRACTORS INCLUDING ELECTRICAL, DATA, TELEPHONE, SOUND AND OR SECURITY TO COORDINATE W/ HVAC CONTRACTOR AND DESIGNER TO VERIFY IF PLENUM AIR RETURNS ARE USED IN THE BUILDING. IF PLENUMS ARE USED ALL CONTRACTORS MUST USE PLENUM RATED WIRE. NO ADDITIONAL COSTS WILL BE PASSED ONTO THE BUILDING OWNER FOR LACK OF CONTRACTOR COORDINATION.
5. HVAC DESIGNER AND CONTRACTOR ARE RESPONSIBLE TO COORDINATE W/ GENERAL CONTR/ DRYWALL CONTRACTOR IF PLENUM AIR RETURNS ARE USED IN THE BUILDING. DRYWALL CONTRACTOR MUST RETURN ALL GYP. IN THE AREA OF THE PLENUM TO THE BOTTOM SIDE OF THE STRUCTURE. NO COMBUSTIBLE MATERIAL ALLOWED IN THE PLENUM AREA PER CODE.
6. WHERE APPLICABLE BUILDINGS WITH FIRE SUPPRESSION SYSTEMS FIRE PROTECTION CONTRACTOR WHEN BLEEDING SYSTEM MUST USE A HOSE TO CATCH BASIN OR LAWN AREA. ABSOLUTELY NO DISCHARGE TO GRADE PAVING. IF DONE TO GRADE PAVING FIRE PROTECTION CONTR. RESPONSIBLE FOR CLEANING OF ALL RUST AND OR STAINS TO RETURN THE PAVING TO ORIGINAL CONDITION.
7. GENERAL CONTRACTOR RESPONSIBLE FOR FINAL GENERAL CLEANING PRIOR TO TURN OVER TO LANDLORD AND TENANT. GENERAL CONTRACTOR TO CONTACT LANDLORD AND OR TENANT FOR FINAL INSPECTION.
8. GENERAL CONTRACTORS TO HAVE WINDOWS CLEANED INSIDE AND OUT BY PROFESSIONAL WINDOW CLEANER. PRE-CLEANING TO BE USED W/ WINDOW CLEANER. GLASS CLEANING TO BE USED W/ WINDOW CLEANER OR ETC.
9. ALL CONTRACTOR TO PROTECT FINISH MATERIALS (IE: ROOFING, VINYL, CARPET, MASONRY, ETC.) WHEN APPLYING PAINT. ETC. FOR ANY MATERIAL. GENERAL CONTRACTOR RESPONSIBLE FOR ALL SURFS AND OR CONTRACTORS ARE RESPONSIBLE FOR ALL CLEANUP. COSTS TO REPAIR MATERIAL TO ORIGINAL CONDITION.
10. GENERAL CONTRACTOR RESPONSIBLE FOR CONTACTING LANDLORD, TENANT AND ARCHITECT FOR FINAL WALK THRU, PUNCH LIST AND COMPLIANCE STATEMENT PRIOR TO TENANT OCCUPANCY AND FINAL TURN OVER.

GENERAL ROOM FINISH NOTES:

1. ALL GYP. BOARD SURFACES SHALL BE LEVEL A GRADE FINISH AND GYP. BD. SURFACES SHALL BE TAPED, MUDDED AND PRIMED TO ACCEPT TENANT FINISHES. COORDINATE FINAL FINISH MATERIAL AND COLORS WITH FINISH PLAN. SPRAYED ON PAINT AND BACK ROLL FOR TEXTURE. WALL FINISH TO BE MAINTAINED OVER ENTIRE WALL SURFACE FROM THE FLOOR TO A MIN. OF 6" ABOVE FINISH CEILING HEIGHT. COORDINATE WITH SUPPLIED BASE TYPE HT.
2. ALL EXPOSED BLOCK WALLS SHALL BE PREPPED, BLOCK FILLER/ PRIMER APPLIED AND FINISHED WITH TWO (2) COATS PAINT.
3. PAINT EXPOSED STRUCTURE, MECHANICAL, AND ELECTRICAL EQUIPMENT TO MATCH COLOR OF THE ADJACENT WALLS. (EXCEPT FACTORY FINISHED FIXTURES).
4. FLOOR FINISH MATERIALS SHALL BE COORDINATED WITH TENANT AND INSTALLED PER PLANS.
5. ALL MTL. STUD FRAMED SOFFITS TO HAVE DIAGONAL BRACING AS REQUIRED FOR STABILITY AND GYP. BD. ALL SIDES TO MIN. 6" ABOVE ADJACENT FINISH CLG. HEIGHT.
6. ALL CEILING GRIDS SHALL BE CENTERED IN EACH ROOM UNLESS OTHERWISE NOTED, SEE REFLECTED CEILING PLAN.
7. ALL ELECTRICAL AND MECHANICAL FIXTURES TO BE INSTALLED WITHIN CEILING SHALL BE CENTERED ON CEILING TILE UNLESS NOTED OTHERWISE. SEE REFLECTED CEILING PLAN.
8. ANY LOCATION GYP. BOARD CONTACTING SIMILAR MATERIAL PROVIDE SEALANT JOINT PRIOR TO PAINT/ FINISH MATERIAL. TYPE ENTIRE FR.
9. PROVIDE THE FOLLOWING: (A) 2" FRAME/ GLASS TERMINATION. ALIGN NEW WALL WITH CENTER OF EXIST. WINDOW/ WALL TYPICAL. STEP WALL AT WINDOW SILL/ PROVIDE VINYL 'J' TRIM CLOSURE AT WINDOW FRAME. PROVIDE CONTR. SEALANT JOINT. (B) GYP. BOARD BREAK MTL. GLASS AT WINDOW FRAME AT FACE. (C) WALL EXPOSED TO FRONT/ REAR OF FRONT.
10. HOLLOW METAL OR ALUMINUM FRAMES (IE: WINDOW DOORS) TO BE CEILING MOUNTED TO WALL ASSEMBLIES. RETURN GYP. BD. TO FRAME. PROVIDE PLASTIC 'J' CHANNEL AND SEALANT TYP. ENTIRE FR.
11. IF GYP. BD. IS STOPPED SHORT OF STRUCTURE ABOVE. INSULATION CONTRACTOR TO PROVIDE STRAPPING AT 24" O/C CRITICAL TO PREVENT INSULATION SLUMPING.
12. FLOORING CONTRACTOR TO PROVIDE COLOR MATCHED CAULK TO FLOOR TILE FINISH (IE: CERAMIC, VCT) AT ALL FLOOR DRAINS, CLEAN OUTS, AND DOOR FRAMES.

FINISH NOTES:

1. INTERIOR WALL & CEILING FINISHES SHALL COMPLY W/ IBC 803.9. 803.9 INTERIOR FINISH REQUIREMENTS BASED ON GROUP. INTERIOR WALL AND CEILING FINISH SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THAT SPECIFIED IN TABLE 803.9 FOR THE GROUP AND LOCATION DESIGNATED. INTERIOR WALL AND CEILING FINISH MATERIALS, OTHER THAN TEXTILES, TESTED IN ACCORDANCE WITH NFPA 286 AND MEETING THE ACCEPTANCE CRITERIA OF SECTION 803.1.2.1, SHALL BE PERMITTED TO BE USED WHERE A CLASS A CLASSIFICATION IN ACCORDANCE WITH ASTM E 84 IS REQUIRED. EXIT ENCLOSURES & EXIT PASSAGEWAYS - CLASS B INTERIOR FINISH MATERIALS. CORRIDORS, ROOMS & ENCLOSED SPACES - CLASS C INTERIOR FINISH MATERIALS.

CONCRETE SLAB NOTES:

1. SAWCUT & REMOVE EXISTING CONC. SLAB AS REQUIRED FOR NEW WORK. CONTRACTOR TO REINF. AND PATCH TO MATCH EXISTING. TYPICAL. SEE DETAIL D-18/10/0.
2. SLAB TO BE PLACED IN A TEMPERED SPACE AND SHALL NOT HAVE ADDITIONAL ADDITIVES IN THE MIXTURE TO AID CURING IN COLD TEMPERATURES OR TO INCREASE CURING TIME BEYOND ACCEPTABLE TIME FRAMES.
3. COORDINATE SLAB CURE TIMES WITH MOISTURE CONTENT REQUIREMENTS OF FLOOR FINISH, FLOOR MATERIALS AND ASSOCIATED ADHESIVES.
4. CONCRETE FLOOR TO BE PREPPED TO ACCEPT DIRECT APPLIED FLOOR FINISH AND FLOORING MATERIAL. COORDINATE W/ LANDLORD AND TENANT. FLOOR TO BE FREE OF DEFECTS AND HAVE A SMOOTH LEVEL FINISH. ASPEN DENTAL TO SUPPLY ALL FLOOR MATERIALS, CONTRACTOR TO INSTALL ALL FLOOR FINISH AND FLOORING MATERIALS.
5. ALL CONCRETE (SITE, FLOOR, ETC.) TO HAVE CYLINDER SLUMP TEST AS INDICATED ON T2.1 FOR OWNER, ARCHITECT AND ENGINEER REVIEW.
6. GENERAL CONTRACTOR CONCRETE CONTRACTOR TO CONTACT OWNER-LANDLORD, ARCHITECT OR ENGINEER ONE DAY PRIOR TO CONCRETE POUR TO REVIEW AGGREGATE BASE. BASED ON SITE LOCATION THIS MAY BE REVIEWED VIA SITE PHOTOS.
7. AT NEW SLAB POURS THAT CONNECT TO EXISTING SLABS. CONTRACTOR SHALL DRILL AND DRIVE #6 SMOOTH ROD @ 24" O.C. MIN. RODS SHALL BE 12" LONG W/ 6" EMBED. TIE TO WIRE MESH REINFORCEMENT (TYP.). COAT ONE END OF ROD TO PREVENT BONDING W/ SLAB.
8. GENERAL CONTRACTOR TO PROTECT ALL CONCRETE SURFACES FROM CRACKS AND STAINS. THERE WILL BE NO WRITINGS ALLOWED ON EXPOSED SLABS.
9. COVER NEWLY PLACED SLAB W/ POLY TO CONTROL MOISTURE CONTENT AND FACILITATE EVEN CURING THROUGHOUT.
10. COORDINATE SLAB SAWCUT JOINTS W/ ORIGINAL DESIGN PLANS. IF PLANS DO NOT NOTE SAWCUT JOINTS, MATCH EXISTING CONCRETE SAWCUT JOINTS. IF NO EXISTING SAWCUT JOINTS, MAINTAIN 15' x 15' SAWCUT JOINT GRID (TYP.).

GENERAL DOOR/HARDWARE NOTES:

1. HARDWARE LOCK KEYING- HARDWARE SUPPLIER TO PROVIDE LOCK SCHEDULE. KEYS/ MAGNETS HAVE A REPRESENTATIVE GO OVER BUILDING KEYS/ MAGNETS TO LANDLORD AND TENANT. KEYS TO BE HANDLED DIRECT TO OWNER/TENANT.
2. ALL CYLINDERS TO BE SCHLAGE HEAVY DUTY CYLINDERS FULL SIZE W/ INTERCHANGEABLE CORES. NO SUBSTITUTIONS.
3. FINAL CORES TO BE COORDINATED W/ OWNER, LANDLORD & TENANT.
4. PERMITTED UNLESS SPECIFICALLY NOTED.
5. ALL HARDWARE TO BE AMERICANS WITH DISABILITIES ACT (A.D.A.) COMPLIANT.
6. ALL TOILET ROOM DOORS TO HAVE A CLOSER AND PRIVACY LOCK. SEE HARDWARE SCHEDULE FOR ADDITIONAL NOTES.
7. PROPER EXIT HARDWARE IS REQUIRED ON ALL EXIT AND EXIT ACCESS DOORS. DEAD BOLT HARDWARE SHALL COMPLY WITH REQUIREMENTS OF THE STATE/LOCAL BUILDING CODE.
8. ALL HARDWARE TO BE PDQ OR EQUAL. CYLINDERS TO BE HEAVY DUTY. ALL FINISHES TO BE BID AS 626 SATIN CHROME FINISH, UNLESS NOTED OTHERWISE. COORDINATE FINAL HARDWARE COLOR/FINISH W/ OWNER-LANDLORD, ARCHITECT AND TENANT PRIOR TO ORDERING/INSTALLATION.
9. ENTRY DOORS TO HAVE PASSAGE/ENTRY LOCKSET W/ CLOSER, COORDINATE W/ TENANT.
10. AT RATED ROOMS HARDWARE SUPPLIER TO PROVIDE PROPER LOCKS, CLOSERS, ECT. TO MEET CODE.
11. HARDWARE SUPPLIER TO PROVIDE DOOR STOPS AT ALL DOORS. (IE WALL STOP, HINGE STOP, FLOOR STOP OR OVERHEAD.) THESE STOPS TO BE PROVIDED IN THIS ORDER WITH WALL STOPS AS PREFERRED APPLICATION. SEE HARDWARE SCHEDULE FOR NOTES.

GENERAL HVAC NOTES:

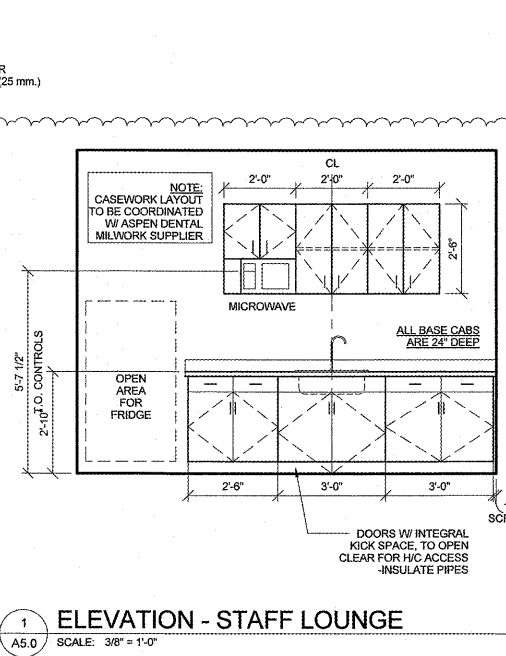
1. ONE DIGITAL THERMOSTAT WITH SEPARATED LOW VOLTAGE WIRING PER ROOM ZONING. SEE HVAC DRAWINGS.
2. AT NEW BUILDINGS, ALL GAS PIPING TO BE RUN FROM MILLWORK DIRECT TO INTERIOR NO GAS PIPING TO RUN UP EXTERIOR WALLS. AT EXISTING BUILDINGS, SEE PLUMBING DRAWINGS FOR GAS PIPING LOCATIONS. ALL GAS PIPING MUST BE PERMITTED AND PERMITTED (TYPICAL). EXTERIOR PIPING PAINT TO MATCH EXISTING WALL FINISH.
3. INSTALL ALL NECESSARY ELBOWS AND PIPING PER CODE.
4. SUPPLY AND INSTALL ALL NECESSARY EXHAUST FANS, DUCTWORK, VOLUME DAMPERS, GRILLES, FILTERS AND LINEAR DIFFUSERS PER CODE.
5. PROVIDE AIR BALANCING FOR ENTIRE SPACE BY PROVIDING FULL TESTING AND BALANCING REPORT, FOR LANDLORD & TENANT REVIEW.
6. OBTAIN ALL STATE & LOCAL PERMITS AND ANY OTHER TRADE RELATED FEES.
7. AT RATED ROOMS CONTRACTOR TO PROVIDE DUCT FIRE DAMPERS AS REQUIRED BY CODE TYPICAL. THIS WOULD ALSO APPLY TO ANY PIPE PENETRATIONS THAT WILL BE REQUIRED TO BE FIRE CAULKED OR SLEEVED TYPICAL.
8. SEE LANDLORD NOTES ON SHEET T2.0 FOR ADDITIONAL INFORMATION.

PLUMBING NOTES:

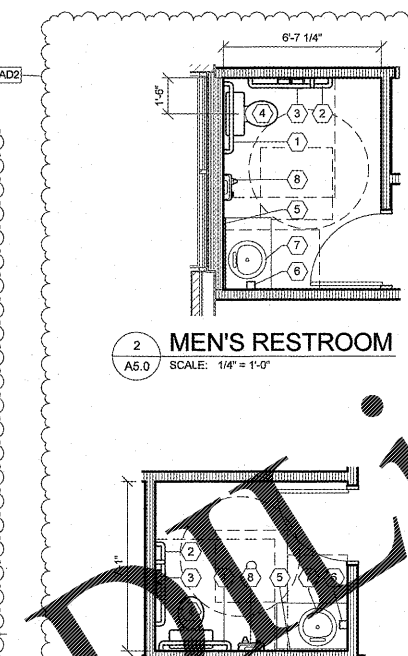
1. ALL PLUMBING FIXTURES TO MEET ADA GUIDELINES AND STATE/LOCAL CODES AND ORDINANCES.
2. ALL ROOF DRAIN LEADERS AND OVERFLOW PIPING TO BE WRAPPED IN PIPE INSULATION ALL AREAS NO EXCEPTIONS.
3. PROVIDE ALL STATE & LOCAL PERMITS AND ANY OTHER TRADE RELATED FEES.
4. ALL WATER PIPING WILL BE TYPE L COPPER AND WILL CONNECT TO EXISTING, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFO.
5. ALL DRAIN PIPING WILL BE PVC PLASTIC AND WILL CONNECT TO EXISTING, SEE PLUMBING DRAWINGS FOR ADDITIONAL INFO.
6. AT RATED ROOMS CONTRACTOR TO PROVIDE FIRE CAULKING OR SLEEVE PIPING AS REQUIRED BY CODE TYPICAL.
7. SEE LANDLORD NOTES ON SHEET T2.0 FOR ADDITIONAL INFORMATION.
8. SINK FAUCET CONTROLS TO BE LOCATED ON THE LEFT, FAUCET TO BE LOCATED IN CENTER, AND SPRAYER TO BE LOCATED ON RIGHT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

ELECTRICAL NOTES:

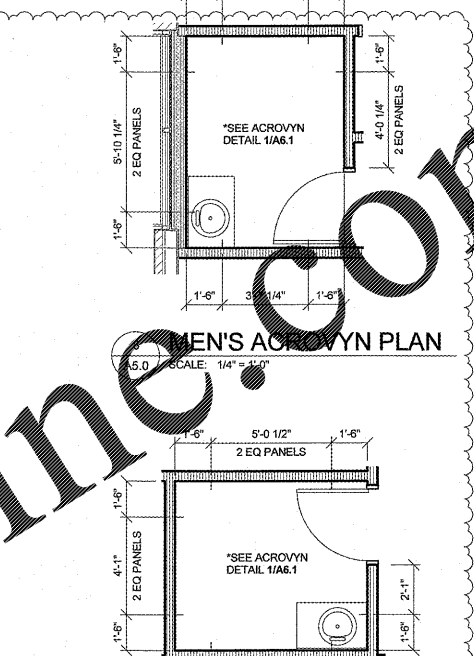
1. COORDINATE PANEL/SUB PANEL LOCATION W/ LANDLORD/TENANT IF LOCATED WITHIN TENANT SPACE.
2. COORDINATE ALL POWER, PHONE AND DATA REQUIREMENTS W/ TENANT.
3. COORDINATE PHONE SERVICE INSTALL REQUIREMENTS W/ TENANT. VERIFY PANEL LOCATION W/ TENANT AND TENANT DRAWINGS TYP.
4. ALL WIRING TO BE INSTALLED IN CONDUIT, TYPICAL.
5. IN PATIENT ROOMS/AREAS ALL ELECTRICAL REQUIRES REDUNDANT GROUNDING.
6. AT RATED ROOMS CONTRACTOR TO PROVIDE FIRE CAULKING OR SLEEVE PIPING AS REQUIRED BY CODE TYPICAL.
7. PROVIDE ALL STATE & LOCAL PERMITS AND ANY OTHER TRADE RELATED FEES.
8. ELEC. CONTRACTOR TO PULL CONDUIT BELOW CONC. SLAB W/ PULL WIRE FOR TELEPHONE CO. USE -COORDINATE SIZE OF CONDUIT W/ TELEPHONE PROVIDER.
9. G.C. TO PROVIDE MIN. 1/2" PLYWOOD PANEL. COORDINATE REQUIRED LOCATIONS W/ TENANT.
10. ELEC. CONTRACTOR RESPONSIBLE FOR COORDINATING TELEPHONE PANEL/EQUIPMENT LOCATIONS W/ TELEPHONE CO.
11. SEE LANDLORD NOTES ON SHEET T2.0 FOR ADDITIONAL INFORMATION.



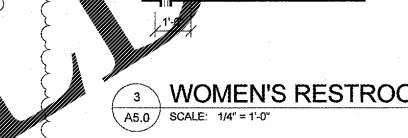
1 ELEVATION - STAFF LOUNGE
A5.0 SCALE: 3/8" = 1'-0"



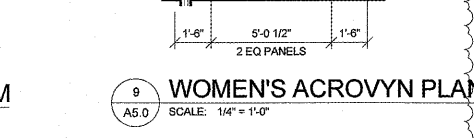
2 MEN'S RESTROOM
A5.0 SCALE: 1/4" = 1'-0"



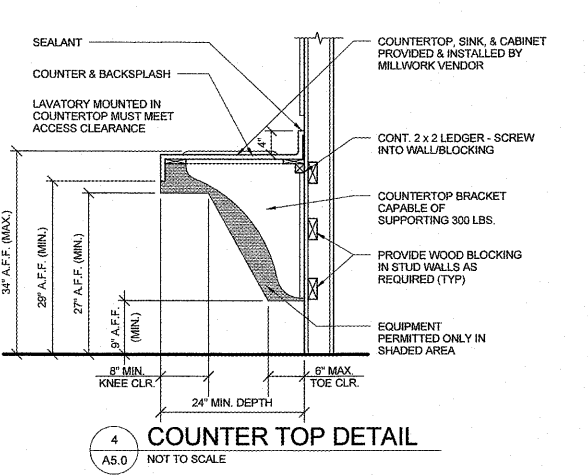
3 MEN'S ACROVYN PLAN
A5.0 SCALE: 1/4" = 1'-0"



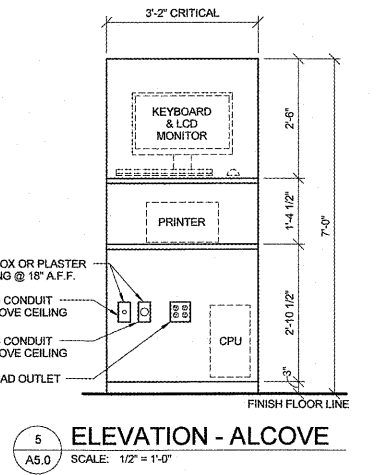
3 WOMEN'S RESTROOM
A5.0 SCALE: 1/4" = 1'-0"



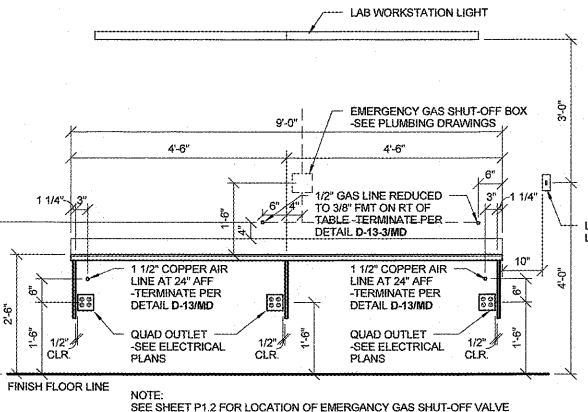
9 WOMEN'S ACROVYN PLAN
A5.0 SCALE: 1/4" = 1'-0"



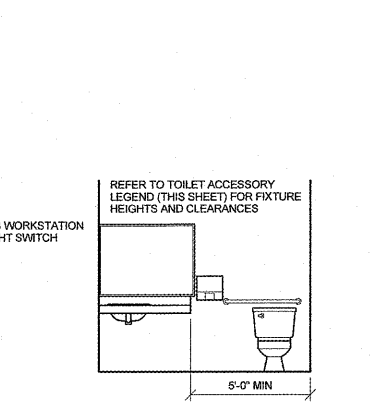
4 COUNTER TOP DETAIL
A5.0 NOT TO SCALE



5 ELEVATION - ALCOVE
A5.0 SCALE: 1/2" = 1'-0"



6 ELEVATION - LAB WORKSTATION
A5.0 SCALE: 1/2" = 1'-0"



7 RESTROOM ELEVATION
A5.0 SCALE: 1/4" = 1'-0"

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COLLABORATION

AspenDental

PROJECT INFORMATION

PROJECT NUMBER 1712680

TENANT BUILD-OUT FOR:

ASPEN DENTAL

3070 WILLIAM ST. • CAPE GIRARDEAU, MO 63703

PROFESSIONAL SEAL

STATE OF MISSOURI

ARCHITECT

NUMBER 2018-00048

SHEET DATES

SHEET ISSUE JUNE 1, 2017

REVISIONS

AD2 JUNE 22, 2017

SHEET INFORMATION

ENLARGED RESTROOMS, INT. ELEV., & DETAILS

SHEET NUMBER

A5.0

REVIEWED FOR CODE COMPLIANCE

JAN 05 2018

RETAIN AT JOB SITE

Approved: Jeff Reilly