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CODE/PROJECT DATA

Table with 2 columns: CODE, VALUE. Includes applicable codes, building code, plumbing code, mechanical code, electric code, accessibility code, energy code, fire code, occupancy classification, construction type, number of stories, fire sprinkler, fire alarm, square footage of proposed build out.

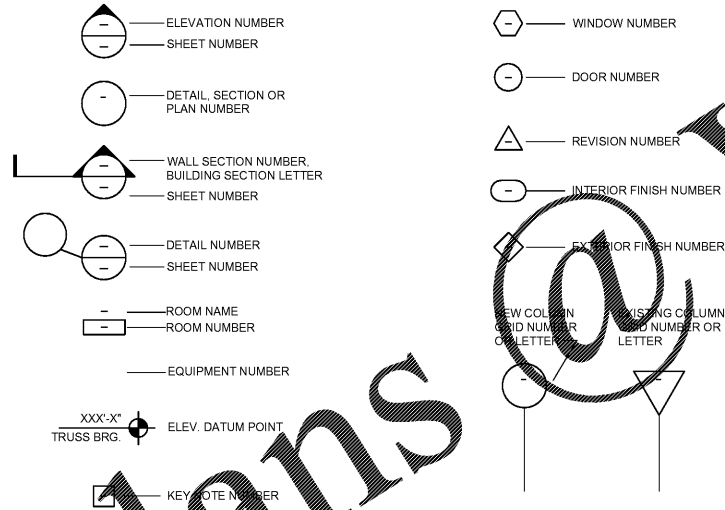
TABLE 1004.1.1 ALLOWABLE OCCUPANTS PER OCCUPANT CLASSIFICATION: TOTAL BUILDING OCCUPANTS = 65 *SEE SHEET A0.0*

SECTION 1015 EXIT AND EXIT ACCESS DOORWAYS: EXIT DOORS REQUIRED = 2 EXIT DOORS PROVIDED = 2

TABLE 1016.1 EXIT ACCESS TRAVEL DISTANCE: MAXIMUM TRAVEL DISTANCE WITH AUTOMATIC SPRINKLER SYSTEM 250' ACTUAL TRAVEL DISTANCE: 73'-6"

INTERIOR WALL AND CEILING FINISH REQUIREMENTS: ROOM AND ENCLOSED SPACES = CLASS "C" FINISHES (OCCUPANT LOAD LESS THAN 300)

SYMBOLOLOGY / LEGEND



IBC PLUMBING FIXTURE:

* RESTROOMS PROVIDED BY LANDLORD AS PART OF MALL DEVELOPMENT

* PER IBC 2802.3.3, THE PATH OF TRAVEL TO TOILET FACILITIES SHALL NOT EXCEED 300 FEET.

MAXIMUM TRAVEL DISTANCE: 300'-0" ACTUAL TRAVEL DISTANCE: 290'-0"

ABBREVIATIONS

Table with 4 columns: ABBREVIATION, MEANING, ABBREVIATION, MEANING. Lists various construction abbreviations such as AC (AIR CONDITIONING), AFF (FINISH FLOOR), DBL (AIR HANDLING UNIT), ASPH (ALUMINUM THRESHOLD BOARD), etc.



A NEW INTERIOR SPACE BUILD-OUT PEACHTREE CENTER 231 PEACHTREE STREET NE, SUITE B14 ATLANTA, GA 30303

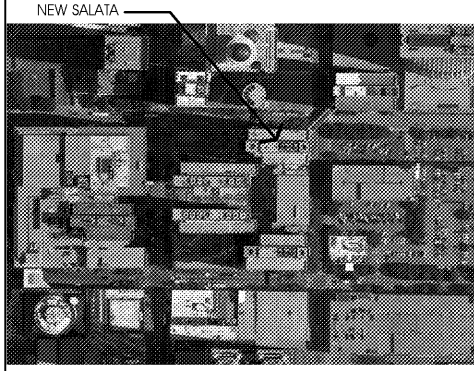
GENERAL NOTES:

- 1. GENERAL CONTRACTOR (G.C.) SHALL READ AND UNDERSTAND ALL NOTES INCLUDED HERewith AND ADHERE CAREFULLY TO THEM THROUGHOUT ALL PHASES OF THE PROJECT. ALL NEW CONSTRUCTION SHALL BE IN STRICT COMPLIANCE WITH LOCAL BUILDING CODES AND THE AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS AND ACCESSIBILITY STANDARDS. 2. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) 3. DIMENSIONS GIVEN IN FIGURES ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD. 4. ALL DIMENSIONS ARE GIVEN FROM FACE OF GYPSUM BOARD OR WP-1 WOOD PLANK (IF APPLICABLE) UNLESS OTHERWISE NOTED. 5. *EQUAL* WHEN USED SHALL MEAN ALL EQUIVALENT PRODUCT OR MATERIAL AS APPROVED BY TENANT. 6. ALL HEIGHTS ARE DIMENSIONED FROM FINISHED FLOOR UNLESS OTHERWISE NOTED. 7. THE CONTRACTOR SHALL VERIFY THAT NOT CONFLICT EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE / DATA, ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION OR MAINTENANCE OF THE ABOVE EQUIPMENT IS PROVIDED. 8. ALL GYPSUM WALL BOARD PARTITIONS SHALL BE TAPED, BEDDED, AND SANDED SMOOTH WITH NO VISIBLE JOINTS, AND ALL CORNERS SHALL RECEIVE METAL CORNER BEAD UNLESS OTHERWISE NOTED. 9. ALL RATED WALLS SHALL HAVE THEIR RATING MAINTAINED AND ALL NEW PENETRATIONS SEALED TO MEET CURRENT CODE REQUIREMENTS. 10. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE FREE FROM DEFECTS. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. DURING THIS PERIOD, PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP SHALL BE CORRECTED AT NO COST TO TENANT. ANY PROBLEMS THAT OCCUR DURING CONSTRUCTION SHALL BE CORRECTED IMMEDIATELY TO THE SATISFACTION OF TENANT. 11. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AS REQUIRED TO SECURE WORK TO STRUCTURE ABOVE CEILING WHERE REQUIRED AND SHALL BE TOTALLY RESPONSIBLE FOR HIS WORK. 12. DURING AND AT THE COMPLETION OF THE CONTRACTORS DAILY WORK, CONTRACTORS ARE RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE JOB SITE. 13. THE FOLLOWING ARE STRICTLY PROHIBITED WORK AND PRACTICES: A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING. B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT, ON ANY PART OF THE BUILDING STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL. C. CUTTING AN HOLES IN FLOOR SLABS WALLS OR ROOF WITHOUT PROPER APPROVAL. BEFORE STARTING ANY UNDER SLAB WORK, CHECK TO DETERMINE IF ANY COMMON UTILITY OR OTHER UTILITY LINES EXIST WITHIN THE SPACE. 14. CONTRACTORS SHALL CARRY ADEQUATE LIABILITY INSURANCE AS SET FORTH BY TENANT AND THE SHOPPING CENTER AND / OR MALL OWNER. A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED UPON COMPLETION OF ALL WORK AND FINAL INSPECTIONS. THE ORIGINAL CO TO BE SUBMITTED TO TENANT STORE MANAGER AND (1) COPY TO BE SUBMITTED TO TENANT CONSTRUCTION & PLANNING MANAGER. 15. IN EVENT OF CONFLICT, DISCREPANCY, ETC. OBLIGATION TO G.C. TO CONTRACT DESIGNER FOR CLARIFICATION PRIOR TO PRECEDING. 16. PROVIDE ALL INSURANCE, LICENSES, BONDING, AND RELEASE OF LIENS REQUIRED BY TENANT AND LANDLORD. PROVIDE COPIES OF DOCUMENTATION UPON REQUEST. 17. PROVIDE COMPLETE OPERATION MAINTENANCE AND SPECIFICATION MANUALS TO TENANT FOR ALL EQUIPMENT WITHIN (15) DAYS OF FINAL COMPLETION OF JOB. 18. PROVIDE A WRITTEN LIST OF SERVICE SUB-CONTRACTORS TO TENANT INCLUDING NAMES, ADDRESSES, PHONE NUMBERS, AND CONTACT PERSONS, FOR FUTURE SERVICES NEEDS WITHIN (15) DAYS OF COMPLETION OF JOB. 19. TENANTS REPRESENTATIVE AND / OR TENANTS CONTRACTORS SHALL NOT BE ALLOWED TO USE, STORE, OR DISPOSE OF ANY HAZARDOUS, FLAMMABLE, EXPLOSIVE, RADIOACTIVE, TOXIC, CONTAMINATING, POLLUTING MATERIALS OR SUBSTANCES RELATED TO INJURIOUS OR CHEMICALLY REGULATED MATERIALS ON THE JOB SITE. 20. ALL INTERIOR WALLS SHALL HAVE ONE COAT OF WHITE PRIMER. 21. GENERAL CONTRACTOR IS TO CONSTRUCT INTERIOR WALLS FROM METAL STUDS. GENERAL CONTRACTOR MUST USE FIRE RETARDANT WOOD STUDS AT CRITICAL LOCATIONS DIMENSIONED ON PLANS FOR MOUNTING OF FIXTURE HARDWARE BY OTHER TRADES. ALL WALLS SHALL BE SQUARE AND PLUMB. 22. TENANT SHALL VERIFY THAT ALL STUDS (FOR RECESSED STANDARDS) ARE LOCATED IN WALLS PROPERLY BEFORE G.W.B. IS INSTALLED OR PATCHED. GENERAL CONTRACTOR SHALL SCHEDULE INSPECTION BY TENANT PRIOR TO G.W.B. INSTALLATIONS. 23. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. ON JOB SITE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM. 24. GENERAL CONTRACTOR OR SHALL USE AN ENTRANCE PROVIDED BY TENANT FOR TRANSPORTING MATERIALS TO AND FROM JOB SITE. ALL EMPLOYEES OF G.C. SHALL USE THESE SAME ENTRANCES. G.C. SHALL CONFINE ALL VEHICLES TO DESIGNATED AREA AS REQUIRED BY TENANT. 25. GENERAL CONTRACTORS BID QUOTATIONS SHALL INCLUDE THE USE OF EQUIPMENT AND MATERIALS EXACTLY AS SPECIFIED HEREIN. 26. GENERAL CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS. ANY DIMENSIONS SHOWN WHICH INDICATE AN EXISTING CONDITIONS ARE APPROXIMATE AND SHOULD BE VERIFIED ON SITE. 27. IT IS THE RESPONSIBILITY OF THE G.C. TO DETERMINE THE EXISTING CONDITIONS WHICH MAY AFFECT THE COMPLETION OF THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. NOTIFY THE DESIGNER IF EXISTING CONDITIONS VARY SUCH THAT IMPLEMENTATION OF THE DOCUMENTS WILL ADVERSELY AFFECT THE PROJECT COST OR PROJECT SCHEDULE. 28. IT IS NOT WITHIN THE SCOPE OF WORK OF THE DESIGNER TO DISCOVER, LOCATE, HANDLE, REMOVE, OR DISPOSE OF ANY HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), HYDROCARBONS, OR ANY OTHER TOXIC SUBSTANCES. SHOULD THE G.C. OR ANY OTHER ENTITY WORKING ON BEHALF OF THE B.C. OR THE OWNER DISCOVER OR ENCOUNTER ANY HAZARDOUS MATERIALS, THE G.C. SHALL NOTIFY THE APPROPRIATE AUTHORITIES IMMEDIATELY AND PROCEED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. 29. GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO THE TENANT FOR ANY DAMAGE TO THE FACILITY DURING CONSTRUCTIONS. 30. G.C. SHALL DISPOSE OF DEMOLISHED MATERIAL NOT RETAINED BY THE TENANT IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. 31. G.C. SHALL MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS ON THE JOB SITE. 32. G.C. SHALL NOTIFY THE TENANT'S CONSTRUCTION COORDINATION IF MATERIAL OR EQUIPMENT DOES NOT ARRIVE AT THE JOB SITE PRIOR TO THE TIME REQUIRED. G.C. SHALL INSPECT FOR DAMAGE, SHORTAGES, AND ERRORS IN SHIPPING. REPORT PROBLEMS TO TENANT CONSTRUCTION COORDINATION IMMEDIATELY. 33. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING THE SPACE OVER TO THE TENANT. CLEANING SHALL INCLUDE, BUT NOT LIMITED TO REMOVAL OF GREASE MASTIC ADHESIVES, DUST, DIRE. STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM EXPOSED INTERIOR AND EXTERIOR SURFACES, PRESSURE WASH EXTERIOR PAVED SURFACES. 34. SUBCONTRACTORS ARE DISCOURAGED TO CONTACT TENANT, STORES AND DESIGNERS FOR SOLICITING A "BIDDERS LIST". 35. G.C. TO VERIFY THE DIMENSIONS OF ALL RELATED PAN AND ELEVATIONS, SECTIONS, SCHEDULES, AND DETAILS. REPORT DISCREPANCIES TO DESIGNER. 36. ALL PROJECTS SHALL SUBMIT AN EMERGENCY RESPONSE INFORMATION FORM. 37. UPON COMPLETION OF ALL WORK, A REQUEST FOR FINAL INSPECTION FORM MUST BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE. THIS PROJECT MAY NOT BE OCCUPIED UNTIL A FINAL INSPECTION HAS BEEN PERFORMED AND A CERTIFICATE OF COMPLIANCE HAS BEEN ISSUED BY MONTGOMERY COUNTY.

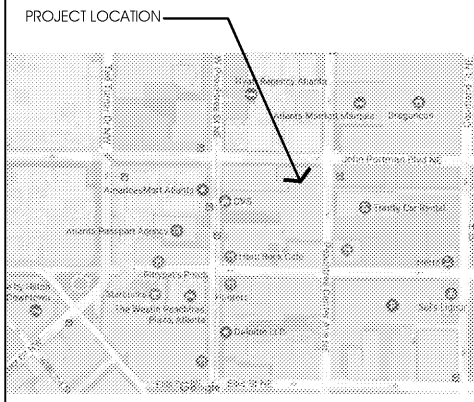
REVISION INFORMATION table with columns: CONSTR. DOC., LANDLORD COM, FOR CONSTR., and rows for dates 12.08.17, 12.20.17, 01.04.18.

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SITE MAP



VICINITY MAP



INTERPLAN

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SEAL: THIS DOCUMENT IS NOT FOR CONSTRUCTION UNLESS THE ARCHITECT OR ENGINEER'S SIGNATURE AND SEAL APPEAR BELOW.

REVISIONS table with columns: NO, DATE, REVISIONS. Shows revision 1 dated 12.28.17 for LANDLORD COMMENTS.

PROJECT NO: 2017.0221 DATE: 12.08.2017

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CHECKED: MP DRAWN: RS

Order Plans

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