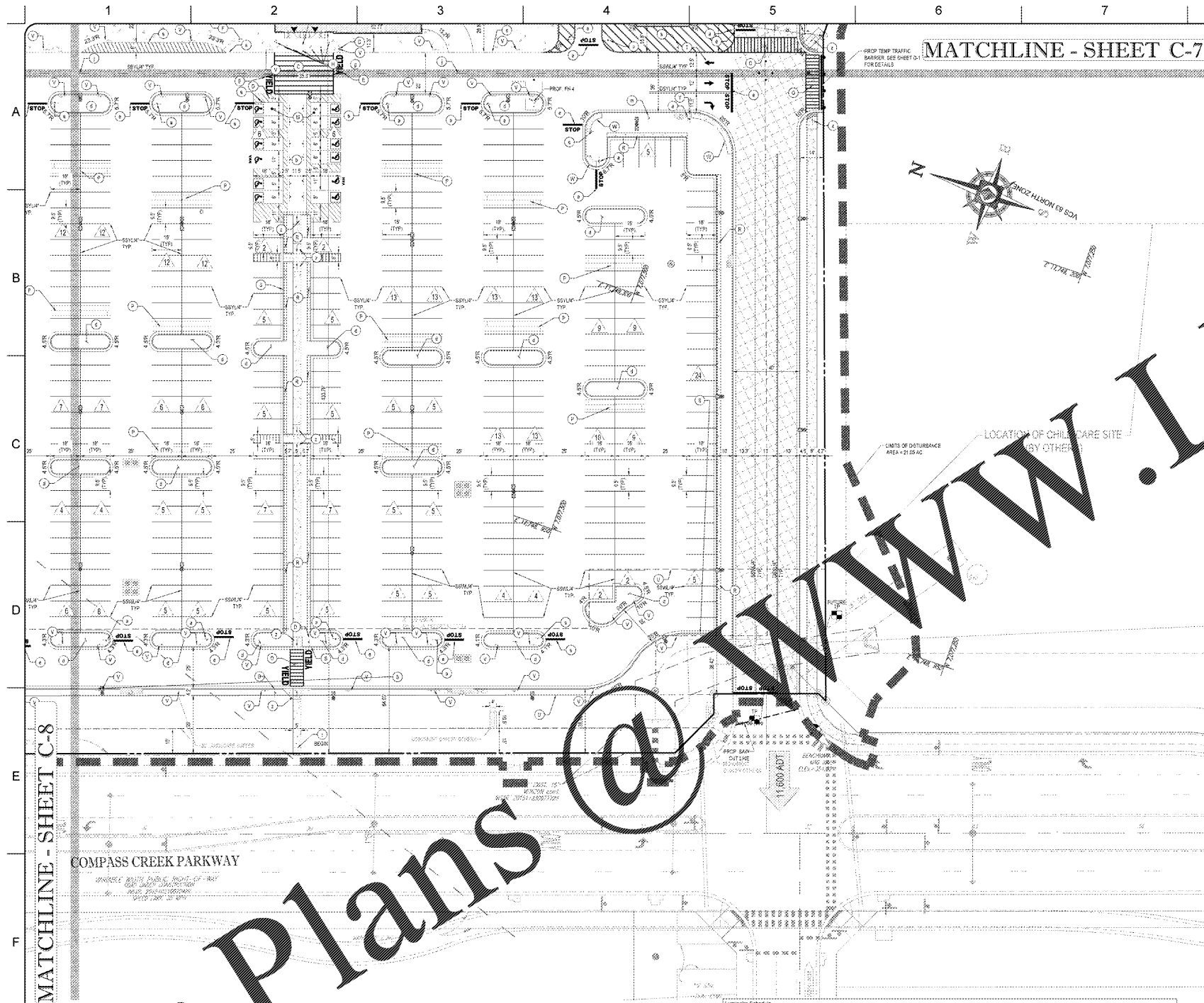


Order Plans @ www.ldonline.com

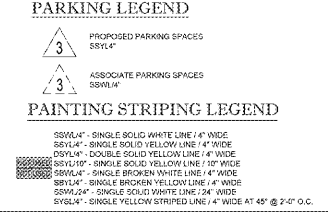
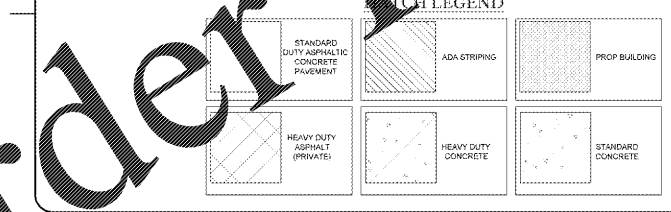


SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS AND CODES AND C.S.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DISTURBED AREAS TO BE LANDSCAPED ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS AND FINISH ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- TOTAL LAND AREA IS 20.38 ACRES.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SITE SPECIFIC SPECIFICATIONS.
- MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS.
- REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES AND FINAL GRADING) BY THE SETBACK DATE IN PROJECT DOCUMENTS.
- EXTERIOR TRASH RECEPTACLES, DUMPSTERS, COMPACTORS, AND ANY DOMESTIC WASTE CONTAINERS SHALL BE PROVIDED TO PREVENT THE ATTRACTION OF BIRDS AND OTHER ANIMALS. REGULAR MAINTENANCE WILL BE PROVIDED TO PREVENT THE ATTRACTION OF BIRDS AND OTHER ANIMALS.
- REGULAR MAINTENANCE WILL BE PROVIDED FOR WATER STORAGE EQUIPMENT IN ORDER TO PREVENT THE ATTRACTION OF BIRDS AND OTHER ANIMALS.
- THE BUILDING DOES NOT FULLY REFLECT THE FINISH SURFACES AND ALSO UTILIZES FINISH SURFACES ON ROOF EQUIPMENT.
- SEE 10 - 12 AND DRIVE THROUGH LANES ARE PROVIDED FOR PHARMACY SERVICES TRANSACTIONS. PURSUANT TO ZONING ORDINANCE SECTION 16.06.010(1) LANE 1 IS DESIGNATED TO PHARMACY PICKUP. LANE 2 IS DESIGNATED TO COMBINED PHARMACY AND GROCERY PICKUP.
- SEE 10 - 12 AND DRIVE THROUGH LANES ARE PROVIDED AT THE REAR OF THE BUILDING FOR TIRE AND LUBE SERVICE. PHARMACY AND GROCERY PICKUP ARE INDICATED BY THE THREE (3) BAYS ARE INDICATED BY ENTER PANELS.
- NO OUTDOOR STORAGE OCCUR ON SIDEWALKS IMMEDIATELY ADJACENT TO THE OUTDOOR SALES AREA. NO LOADING/UNLOADING OCCUR ON SIDEWALKS IMMEDIATELY ADJACENT TO AND WEST OF THE OUTDOOR SALES AREA.
- SEE 10 - 12 AND DRIVE THROUGH LANES ARE PROVIDED AT THE REAR OF THE BUILDING FOR TIRE AND LUBE SERVICE. PHARMACY AND GROCERY PICKUP ARE INDICATED BY THE THREE (3) BAYS ARE INDICATED BY ENTER PANELS.

SITE KEY NOTES

- ① 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED W/ NO PARKING FIRE LANE PAINTED WITH 4" HIGH WHITE LETTERING AT 2' O.C. SEE DETAIL SHEET.
- ② AREA STRIPED AT 2'x8' @ 45° @ 2'-0" O.C.
- ③ PROVIDE CROSSWALK MARKINGS AT ALL GROCERY AND GROCERY VESTIBULE ENTRIES. 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11" WIDE WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS.
- ④ PEDESTRIAN CROSSWALK SIGN TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS. SEE DETAIL SHEET.
- ⑤ YIELD PAINTED WHITE ON PAVEMENT TYPICAL. SEE DETAIL SHEET.
- ⑥ CONCRETE JOINTING AND FILLETS TO BE COMPLETED PER DETAIL. (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).
- ⑦ EXIT PORCH - SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STOODS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STOOD.
- ⑧ 1/8" RISE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
- ⑨ AT GROCERY OVERHEAD DOOR LOCATION. SEE ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS.
- ⑩ 4" WIDE x 150' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL.
- ⑪ 16" x 42" CONCRETE COMPACTOR PAD AND 16" x 36" HEAVY DUTY PAD (CURRENT FOR TRUCK LOADING). REFER TO ARCHITECTURAL PLAN FOR EXACT LOCATION AND SIZE. CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- ⑫ ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. (VAP INDICATES VAN ACCESSIBLE SPACE).
- ⑬ PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED 8" @ 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE. SEE DETAIL SHEET.
- ⑭ PEDESTRIAN CROSSWALK. SEE SITE PLAN FOR DIMENSIONS. SEE DETAIL SHEET.
- ⑮ CART CORRAL TYPICAL. SEE DETAIL SHEET.
- ⑯ 10' x 12' STRIPED AREA PAINTED 2" @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS.
- ⑰ 2' BUFFER FOR CAR OVERHANG - REFERENCE LANDSCAPE BUFFER DETAIL. SEE DETAIL SHEET.
- ⑱ 18" CONCRETE CURB AND GUTTER TYPICAL. SEE DETAIL SHEET. (NOT TO BE USED IN ROW).
- ⑲ ARROW PAVEMENT MARKINGS TYPICAL. SEE PLAN FOR TYPE. SEE DETAIL SHEET.
- ⑳ BUILDING SETBACK LINE PER ZMAP 2012-021.
- ㉑ NO PARKING FIRE LANE SIGN. SEE SHEET PS-1 FOR SIGN TYPE, DETAILS.
- ㉒ PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED 8" @ 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE. SEE DETAIL SHEET.
- ㉓ 2" HD CONCRETE BUFFER FOR LANDSCAPE PROTECTION. SEE DETAIL SHEET.
- ㉔ TLE STRIPING. SEE DETAIL SHEET.
- ㉕ NO TRUCKS SIGN. SEE DETAIL SHEET.
- ㉖ TRUCK ROUTE SIGN. SEE PLAN FOR LOCATION.
- ㉗ STOP SIGN. SEE DETAIL SHEET.
- ㉘ ADA STALL, LANDSCAPE ISLAND WALKWAY, & CART CROSSOVER. SEE DETAIL SHEET.
- ㉙ HIGH TRAFFIC AREA END CAP ISLAND. SEE DETAIL SHEET.
- ㉚ INTERIOR LANDSCAPE ISLAND. SEE DETAIL SHEET.
- ㉛ STOP BAR. SEE DETAIL SHEET.
- ㉜ 8" WIDE PAINTED STRIPED AREA ENTERED ON SPINNING BREAK STORM MAN-HOLE. 4" PAINTED SOLID TRAFFIC YELLOW STRIPES 18" O.C. @ 45°. SEE DETAIL SHEET.
- ㉝ ISOLATION JOINT TYPICAL AT FIXED STRUCTURES (BUILDINGS, RETAINING WALLS, DOCK WALLS, SHOP FLOORS, MANHOLES, LIGHT POLE BASES AND BOLLARDS). SEE DETAIL SHEET.
- ㉞ ADA STALL, LANDSCAPE ISLAND, & CART CROSSOVER. SEE DETAIL SHEET.
- ㉟ ACCESSIBLE SITE ASSESSMENT POINT. SEE PLAN FOR LOCATION AND LIMITS.
- ① 6" LONG STRIPE WITH 18" GAPS - TYPICAL.
- ② OPTIONAL MOVEMENT LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET.
- ③ ADVANCED INTERSECTION LANE CONTROL SIGN. SEE DIRECTION INDICATED AT SYMBOL. SEE DETAIL SHEET.
- ④ DELIVERY TRAFFIC ONLY SIGN. SEE DETAIL SHEET.
- ⑤ DO NOT ENTER SIGN. SEE DETAIL SHEET.
- ⑥ EXIT RIGHT SIGN. SEE DETAIL SHEET.
- ⑦ PICK UP ENTRANCE SIGN. SEE DETAIL SHEET.
- ⑧ N/A.
- ⑨ DEPRESSED CURB AT CONCRETE APRON AND WALKWAYS.
- ⑩ STANDARD 6" CURBS ADJACENT TO BUILDING.
- ⑪ TIRE AND LUBE EXPRESS (TLE) BAYS.
- ⑫ PHARMACY AND GROCERY PICKUP LANES.
- ⑬ VENDING MACHINES / WATER RETURN BIN. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- ⑭ PROPANE TANKS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- ⑮ GARDEN CENTER PLASTERS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- ⑯ ADA ACCESSIBLE CURB RAMP. SEE SHEET D-2 FOR DETAILS.



Symbol	Qty	Label	Arrangement	LLF	Description	Act. Walls	Act. Lum. Loops	SPAD Rating
	28	SP_A_0_25	SINGLE	0.810	1EA0C3F4F500BBLCKDF 22 POLE ON 3 BASE	144	15400	85-LU-03
	8	SH_0_25	SINGLE	0.810	1EA0C3F4F500BBLCKDF 22 POLE ON 3 BASE	263	93000	85-LU-03
	16	SH_C_25	SINGLE	0.810	1EA0C3F4F500BBLCKDF 22 POLE ON 3 BASE	233	25200	85-LU-03
	13	DIF_A_25	BACK-BACK	0.810	2EA0C3F4F500BBLCKDF 22 POLE ON 3 BASE	268	30000	50-LU-08
	1	DIF_C_21	BACK-BACK	0.810	2EA0C3F4F500BBLCKDF 18 POLE ON 3 BASE	268	30000	85-LU-03
	7	SP_A_0_21	SINGLE	0.810	1EA0C3F4F500BBLCKDF 18 POLE ON 3 BASE	144	15400	85-LU-03
	1	SH_C_21	SINGLE	0.810	1EA0C3F4F500BBLCKDF 18 POLE ON 3 BASE	233	25200	85-LU-03

WALMART USE ONLY

WALMART USE ONLY

WALMART	195,140 SF
PARKING (ASSOCIATE AND CUSTOMER)	774 SPACES
ACCESSIBLE	26 SPACES
TOTAL	801 SPACES
RATIO	4.10 / 1,000 S.F.
CART CORRALS	18 CORRALS/36 SPACES

① PARKING SPACES NOT PROTECTED BY CART CORRALS ARE NOT INCLUDED IN OVERALL PARKING RATIO

REVISIONS

NO.	DATE	DESCRIPTION
1	12/22/16	REVISED PER COUNTY AND TOWN COMMENTS
2	12/22/16	REVISED PER COUNTY AND TOWN COMMENTS
3	12/22/16	REVISED PER COUNTY AND TOWN COMMENTS

BOHLER ENGINEERING
22638 DAVIS DRIVE, SUITE 250
STERLING, VIRGINIA 20164
Phone: (703) 706-6500
Fax: (703) 706-8501
VA@BohlerEng.com

SITE PLAN

WALMART SUPERCENTER #1904-005 - SPAM #1
CATOCHIN ELECTION DISTRICT,
LEESBURG, LOUDOUN COUNTY, VA
WAL-MART STORES, INC. BENTONVILLE, AR

DRAWN	GRP
CHECKED	MJB
DATE	12/22/16
SCALE	1" = 30'
JOB NO.	S148000
SHEET	C-9
SHEET 12 OF 103	