

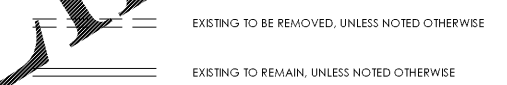
ROOF GENERAL NOTES:

1. REMOVE & REPLACE EXISTING ROOFING W/ NEW WHITE DUROLAST.
2. ROOFING TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUF. RECOMMENDED ROOF DETAILS, SPECIFICATIONS AND REQUIREMENTS IN ORDER TO MEET GUARANTEE REQUIREMENTS.
3. PONDING WATER IS DEFINED AS WATER THAT DOES NOT DRAIN OR DISSIPATE FROM THE ROOF WITHIN 48 HOURS AFTER PRECIPITATION.
4. ROOFING SUBCONTRACTOR TO COORD. ALL TRADES OF ROOF TOP ACCESSORIES FOR PLACEMENT OF TAPERED RIGID INSULATION LAY-OUT AND SUBSEQUENT INSTALLATION IN ORDER TO AVOID PONDING WATER CONDITIONS ATTRIBUTABLE TO BOARD LAY-OUT.
5. REPAIR/ REPLACE GREASE CATCHERS @ ALL EXIST. GREASE HOOD EXHAUSTS.
6. ALL ROOFING DETAILS TO BE VERIFIED AND COORDINATED WITH MANUFACTURER'S SPECIFICATIONS AND WARRANTIES.

DEMOLITION KEYNOTES:

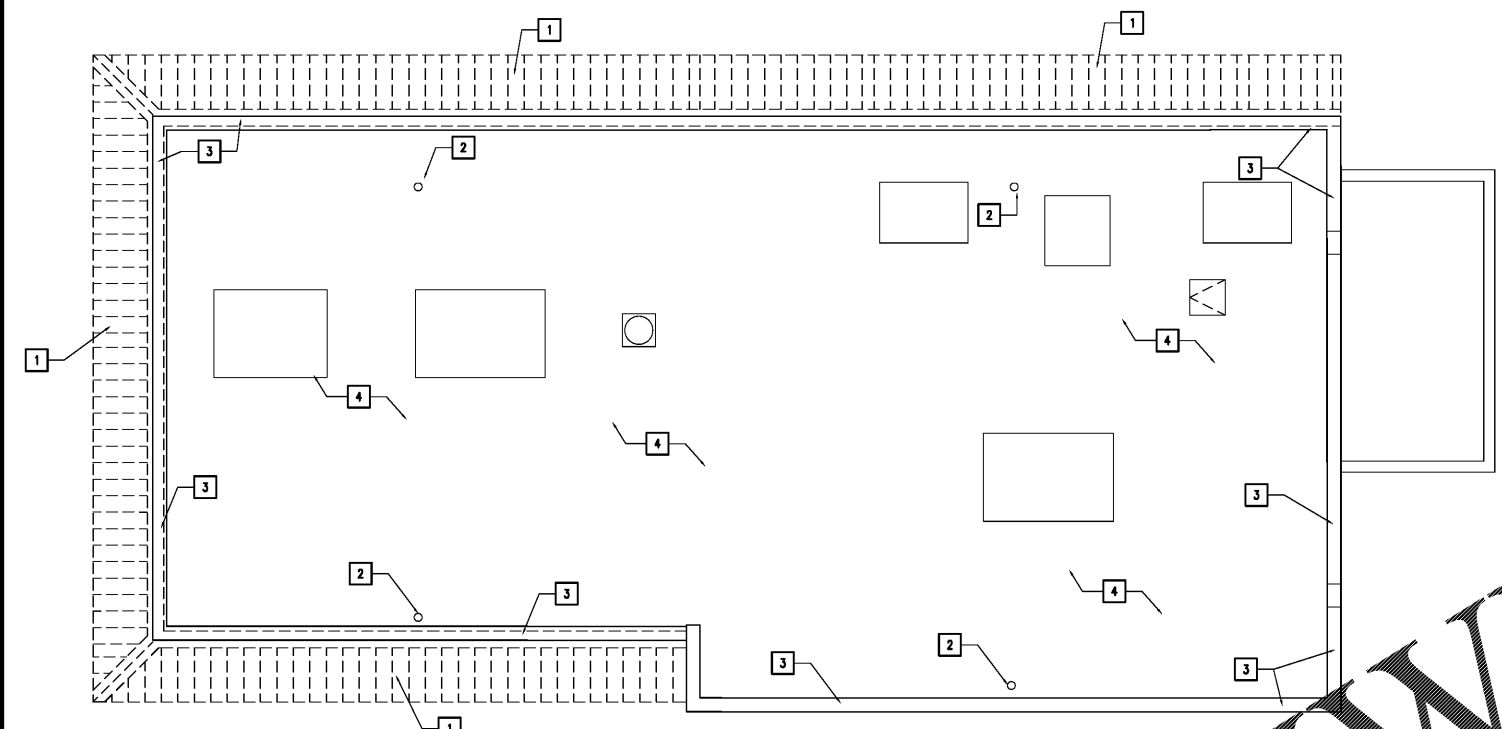
1. REMOVE EXISTING MANSARD ROOF AND FRAMING ENTIRETY.
2. EXIST. ROOF DRAINS TO REMAIN. CLEAN & REPAIR SEDIMENT CAGES.
3. REMOVE EXISTING METAL COPING - TYP. FULL PERIMETER OF ROOF. REFER TO EXTERIOR ELEVATIONS FOR NEW FINISHES AND HEIGHTS.
4. EXISTING ROOF EQUIPMENT TO REMAIN. ADD SACRIFICE SHEETS TO PROTECT ROOF SERVICE CONNECTIONS.

DEMOLITION LEGEND:

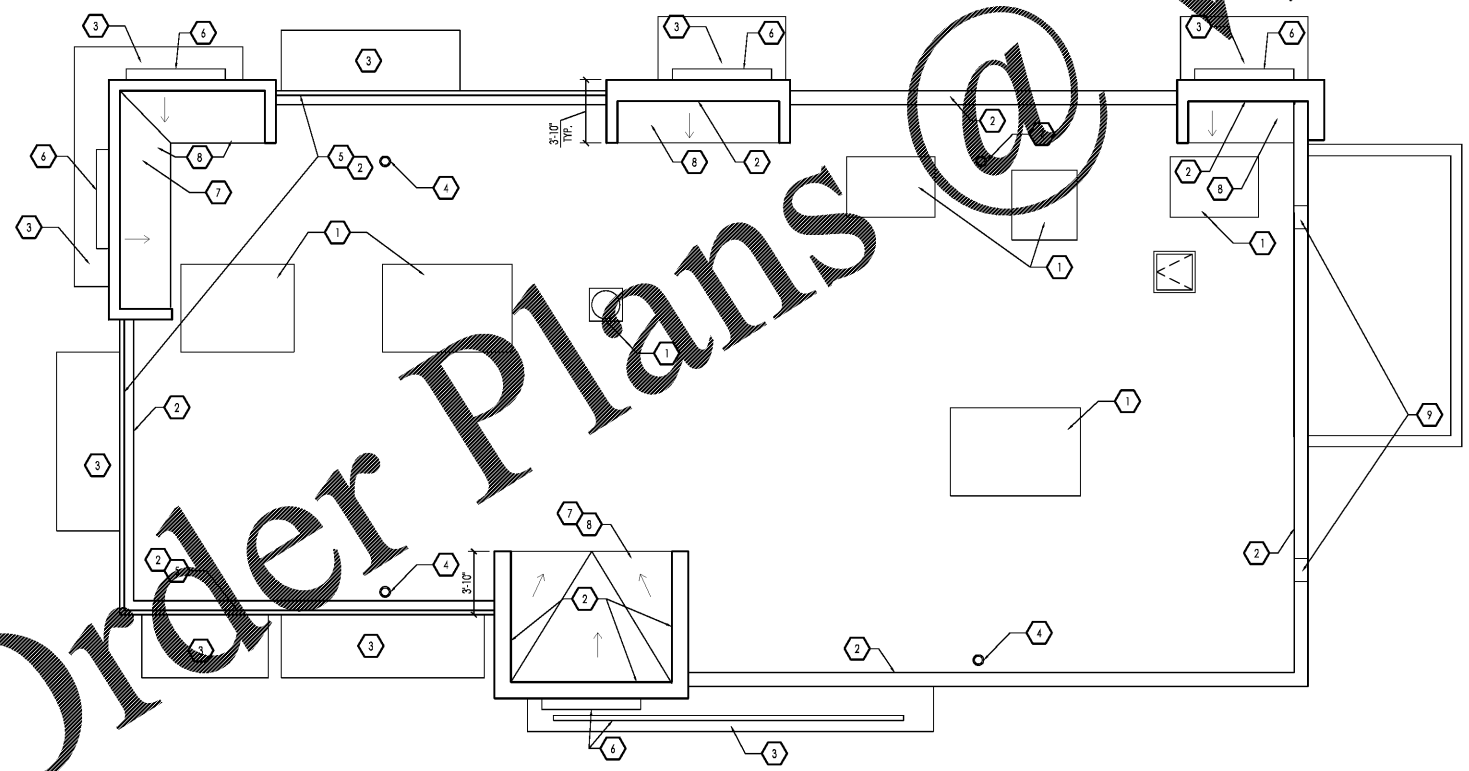


ROOF PLAN KEY NOTES:

1. EXISTING ROOFTOP EQUIPMENT TO REMAIN. VERIFY W/ OWNER ALL EQUIPMENT TO BE REPLACED / REPAIRED. CLEAN ALL HOOD EXHAUSTS; RE-INSTALL ALL HVAC CONDENSATE DRAINS & EXTEND TO ROOF DRAIN LOCATION.
2. NEW CONTINUOUS PREFINISHED METAL COPING. @ ALL PARAPETS.
3. PREFINISHED METAL CANOPY BY SIGN VENDOR; G.C. TO COORD. POWER & BLOCKING REQUIRED - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING - SEE ELEVATION SHEETS & DETAILS ON SHEET AB.3.
4. EXISTING ROOF DRAINS - REPLACE ALL SEDIMENT CAGES & ENSURE ALL ROOF DRAINS PROPERLY DRAIN ALL WATER TO STORM OR PARKING DRAIN. CLEAN & REPAIR ALL DRAIN-LINES AND DRAIN HEADS IN NON-WORKING CONDITION.
5. LIGHT BAND BY SIGN VENDOR & INSTALLED BY OWNER; G.C. TO COORDINATE POWER & BLOCKING AS REQ'D. - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING
6. SIGN BY SIGN VENDOR & INSTALLED BY OWNER; G.C. TO COORDINATE POWER & BLOCKING AS REQ'D. - PROVIDE CLEAR OR MATCHING SEALANT BETWEEN EQUIP. & BUILDING
7. NEW TRANSITIONAL ROOF AREAS AT NEW AND EXTENDED PARAPET WALLS - SEE SECTIONS - ROOF TO ALIGN WITH BACK OF EXIST. PARAPET AND TO BE (MIN.) 1/8":1'-0" SLOPE TOWARDS EXIST. ROOF. - NEW ROOF TO BE DUROLAST & TO OVERLAP ONTO EXIST. INTALL ACCORDING TO MANUFACTURER'S STANDARD DETAILS & SPECIFICATIONS.
8. CRICKET FOR POSITIVE DRAINAGE.
9. REPAIR & EXTEND OVERFLOW SCUPPERS THROUGH NEW MANSARD WALL AS REQ'D. - TO ENSURE THAT SCUPPERS DRAIN PROPERLY - FIELD VERIFY LOCATION & QUANTITY.



ROOF DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



ROOF CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

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IMACR 20/09 - JULY 2012 STANDARDS

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ROOF PLAN