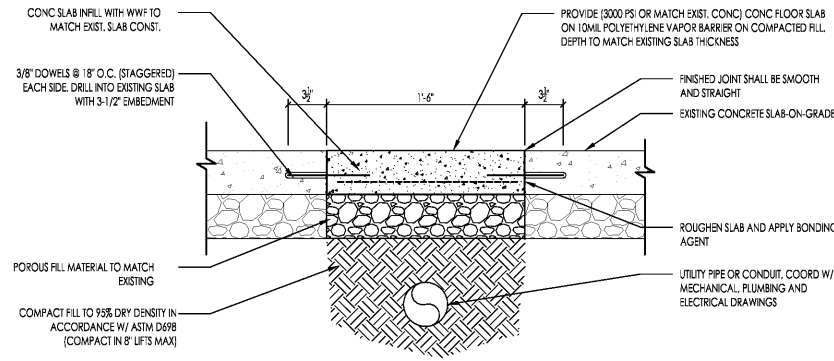


DEMOLITION GENERAL NOTES:

- SEE T1.1 FOR FURTHER GENERAL DEMOLITION NOTES.
- ALLOWANCE FOR REMOVING & REPAIRING WALL BOARD @ DINING (300 SF).
- PROVIDE UNIT PRICING FOR STUD REPLACEMENT @ KITCHEN & RESTROOMS.

DEMOLITION KEYNOTES:

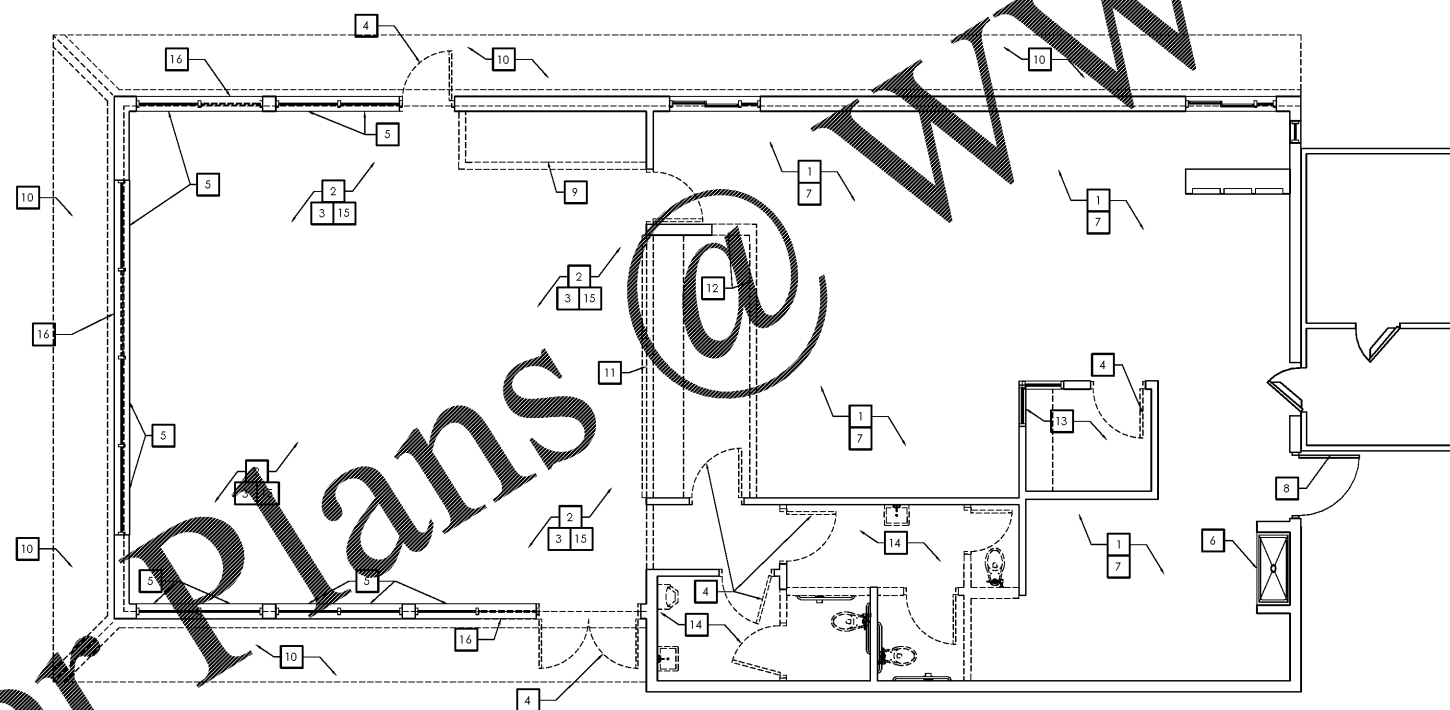
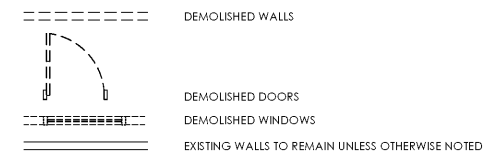
- EXISTING FLOORING (TILE & BASE) TO BE REPAIRED AS NECESSARY - REMOVE/REPLACE BROKEN COORD. W/ OWNER PRIOR TO COMMENCING AND CONFIRM METHOD MEETS ANY FOOD SAFETY REQUIREMENTS. FLOOR TO BE REGROUTED AS REQ'D. PROVIDE MIN. 500 SF OF TILE & CEMENT REGROUT IN BID.
- REMOVE ALL EXISTING WAHNSCOT TRIM, WALL COVERING, WINDOW SILLS @ DINING AND RESTROOMS. EXISTING GYP. BD. TO REMAIN IF UNDAMAGED; REPLACE IF DAMAGED AND REPAIR TO "LIKE-NEW" CONDITION. VERIFY & REPLACE OR REPAIR ROTTED WOOD SILLS AS REQ'D.
- REMOVE ALL EXISTING FURNITURE, QUEUING RAIL & POSTS, TABLE SUPPORT POSTS AND TRASH ENCLOSURES.
- REMOVE EXISTING DOOR & FRAME & PREPARE FOR REPLACEMENT.
- CLEAN AND REPAIR EXIST. ALUM. STOREFRONT - PROVIDE SEALANT AT ANY GAPS (INT. & EXT.). REPLACE ANY GLAZING WITH BROKEN GLASS. PROVIDE NEW GLASS WHERE REQ'D. - TYP. @ ALL STOREFRONT WINDOWS & DOORS TO REMAIN.
- CLEAN / REPAIR EXISTING MOP SINK - PROVIDE NEW SAUCE & VACUUM BREAKER; REPLACE EXIST. TILE @ FLOOR & REPAIR SUBSTRATE @ WALL.
- REMOVE ROTTED PORTIONS OF ALL CEILING (FRP AND FRP AND SUBSTRATE) AT PERIMETER OF KITCHEN UP TO 2' H.F. AND REPAIR WITH NEW SUBSTRATE AND FINISHES. FIELD VERIFY CONDITIONS. -INCL. 18'-0" LINE IN BID.
- PREPARE FOR NEW PAINT @ DOOR & FRAME, EXTERIOR & INTERIOR. REPAIR EXISTING HARDWARE AS NECESSARY. PROVIDE NEW CLOSER, PANIC, STRIKE & STOPS.
- EXISTING BUILDING TO BE FINISHED. PREP FOR NEW CEILING FINISHES - SEE RCP & DECOR PLAN.
- REMOVE EXIST. SUSPENDED ROOF & DRIVE THRU ROOF / CANOPY COMPLETELY, AS SHOWN - SEE EXTERIOR ELEVAT.
- REMOVE EXISTING SERVING COUNTER & REMOVE AND REPLACE LOW WALL BELOW. RELOCATE EXISTING CIRCUITS AS REQ'D.
- REMOVE EXIST. OFFICE COUNTER(S) AND SHELVING.
- REMOVE EXIST. OFFICE COUNTER(S) AND SHELVING.
- ALL EXIST. FINISHES, WALLS (AS SHOWN), DOORS, CEILINGS, LIGHTING FIXTURES, PLUMBING FIXTURES & ACCESSORIES IN RESTROOMS TO BE DEMOLISHED. SUBSTRATE BOARDS TO BE REMOVED & REPLACED.
- ALL FLOOR TILE & BASE TILE @ DINING TO BE REMOVED & REPLACED.
- EXISTING WINDOW UNIT(S) TO BE REMOVED.



NOTE: ALL CEMENT USED SHALL CONFORM TO THE LATEST ASTM SPECIFICATION C 150, TYPE 3. MAXIMUM SLUMP ALLOWED IS 5". ONLY ONE (1) BRAND OF PORTLAND CEMENT SHALL BE USED IN ANY ONE STRUCTURE. CONCRETE MIXTURE SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 3 DAYS.

01 TYP. TRENCH DETAIL
SCALE: 1 1/2" = 1'-0"

DEMOLITION LEGEND:



NO.	DATE	BY	DESCRIPTION
01	11/30/17	BL/PERMIT SET	REVISION
02			
03			
04			
05			
06			
07			



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PROJECT #17024.11
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DEMOLITION FLOOR PLAN