

GRAPHIC SYMBOLS

- (A01) DOOR NUMBER refer door schedule
WINDOW SYMBOL refer window schedule; window type A
OFFICE ROOM NAME & NUMBER
SUPPLEMENTAL DRAWING see project manual
INTERIOR ELEVATION SYMBOL see elevation 01 sheet A1.1
PARTITION TYPE refer legend; partition number 10
SHEET NOTE SYMBOL see note 01 of sheet notes
BUILDING SECTION SYMBOL see section 01 sheet A5.1
SECTION CUT SYMBOL see section 01 sheet A5.3
MATCH LINE & SYMBOL see sheet A1.1
EXTERIOR ELEVATION SYMBOL see elevation 01 sheet A2.1
DETAIL AREA SYMBOL see detail 01 sheet A7.1
REVISION TO DRAWING SYMBOL see revision 01 on sheet revision log

ABBREVIATIONS

- AB Anchor Bolt
ACC Access
ACI American Concrete Institute
ACI Acoustical Ceiling Tile
ADD Address
AFF Above Finished Floor
ALU Aluminum
ALUM Aluminum
APPROX Approximate
ARCH Architect (unit)
B&B Bagged and Burlapped
B&C Back to Back
BC Base of Curb
BD Board
BLDG Building
BLK Black
BNG Blooding
BM Beam
B.M. Benchmark
BOT Bottom
BRK Brick
BSMT Basement
BT Bent
BUR Built-up Roof
BW Bottom of Wall
CAB Cabinet
CAL Caliper
CBL Catch Basin
C/C Center to Center
CD Core Deck
CF Curb Foot
CHAN Channel
CIP Cast Iron Pipe
CJ Construction or Connection Joint
CL Center Line
CLG Ceiling
CLO Closet
CLR Clear (space)
CLS Closure
CMP Computed Metal Pipe
CMU Concrete Masonry Unit
CONC Concrete
CONN Connection
CONSTR Construction
CONT Continuous or Continue
CONTR Contractor or Contractor
COP Carpet (ed)
CRS Course (s)
CS Countersink
CT Ceramic Tile
CTR Center
CY Cubic Yard
D Dye
DBL Double
DEM Dismantle or Demolition
DET Detail
DH Diameter
DIA Diameter
DIA Diagonal
DIM Dimension
DIP Ductile Iron Pipe
DL Dead Load
DR Door
DS Downspout
DWG Drawing
DF Drinking Fountain
EA Each
EFP Each Face
EIF Exterior Insulation Finish System
EJ Expansion Joint
ELEV Elevation/Elevator
ELEC Electric (ed)
EMER Emergency
ENGR Engineer
EOP Edge of Pavement
EQ Edge of slab
EQ Equal
EW Eave Way
EWC Electric Water Cooler
EXH Exhaust
EXP Expansion
EXT Exterior
FBO Furnished by Others
FD Floor Drain
FE Fire Extinguisher
FEC Fire Extinguisher and Cabinet
FFE Finished Floor Elevation
FFL Finished Floor Line
FHC Fire Hose and Cabinet
FO Face of
FOF Face to Face
FN Finish (ed)
FL Floor
FLG Flange
FO Foundation
FOF Face of
FOB Face of Brick
FOC Face of Concrete
FOF Face of Finish
FOM Face of Masonry
FOS Face of Slab
FR Frame (ed) (ing)
FRP Fiberglass Reinforced Plastic
FF Foot/Floor
FTG Footing
GL Glaze/Glue
GA Gauge
GALV Galvanized
GB Grab Bar
GI Galvanized iron
GWB Gypsum Wall Board
GYPS Gypsum
HC Hollow Core/Handicap
HDW Hardware
HK Hook
HM Hollow Metal
HORIZ Horizontal
HP High Pressure Pipe
HT Height
HVAC Heating/Ventilating/Air Conditioning
ID Inside Diameter
IE Invert Elevation
IS Inside Face of Stud
ISOL Isolation Joint
IN Inch(es)
INSUL Insulation
JAN Janitor's Closet
JG Joint Girder
JUM Column
JT Joint
K Thousand
KP Key
KJ Key Joint
KS 1000 # per sq in
LAM Laminated (d)
LF Linear Foot
L Length
LAB Laboratory
LAV Lavatory
LH Left Hand
LL Live Load
LLH Long Leg Horizontal
LLV Long Leg Vertical
LP Low Point
LTGA Light Gauge
LT Light
MAS Masonry
MATL Material
MAX Maximum
MC Misc. Channel
MCJ Masonry Control Joint
MECH Mechanical
MEZZ Mezzanine
MANUF Manufacture (er)
MH Mainline
MIN Minimum
MISC Miscellaneous
MR Mirror
MO Masonry Opening
MOUNT Mount (ed) (ing)
MULL Mullion
NIC Not In Contract
NO Number
NOM Nominal
NTD Noted
NTS Not to Scale
OC On Center (s)
OD Outside Diameter
OFCI Owner Furnished Contractor Installed
OFOI Owner Furnished Owner Installed
OFS Outside Face of Stud
OH Overhead
OPG Opening
OPH Opposite Hand
PAR Parallel
P.C. Point of Curvature
PFL Property Line, Plot
PLAM Plastic Laminated
PNT Premade
PNT Panel
PNT Point (ed)
PFS Pounds Per Square Inch
PT Patch/Pressure Treated/
PV Pave (d), (ing)
PVC Polyvinyl Chloride
PVMT Pavement
PWOOD Plywood
QT Quarry Tile
R Riser
RA Return Air
RAD Radius
RBD Rubber Base
RCP Reinforced Concrete Pipe
RD Roof Drain
REBAR Reinforcement Bar
REF Refrigerator / Reference
REIN Reinforcement (s), (ing)
REQD Required
RETN Retaining
REV Revision (s), Revised
RFG Roofing
RH Right Hand
RM Room
R/M Reinforced Masonry
RO Rough Opening
ROW Right of Way
RTU Roof Top Unit
RVS Reversed (side)
SCW Solid Core Wood
SCH Schedule
SD Storm Drain
SECT Section
SH Shelf, Shelving
SIM Similar
SPEC Specification (s)
SQ Square
SSR Sanitary Sewer
ST Steel
STL Standard
STR Storage
STRUC Structural
SV Shear Vinyl
SV Square Yard
T Tread
T Top of
T/C Top of Curb
TEL Telephone
T&G Tongue and Groove
TH Thick (ness)
T Top of Slab
T Tubular Steel
T Top of Roofing
T Top of Joist
T Top of Steel
T Top of Wall
TYP Typical
TZ Terazzo
UR Urinal
UNO Unless Noted Otherwise
VAR Varnish
VBS Vinyl Base
VCT Vinyl Composition Tile
V Vertical
VIN Vinyl
V-Joint (ed)
VWC Vinyl Wall Covering
W Washer/Wash/Wide Head
WB Wood Base
WC Water Closet
W Wood
WH Wall Hung
WIP Window
WSC Window Sash
W Welded
W Welded Wire Mesh
W/W Window
W/WO Window without
INTERIOR WALLS
BEARING EXIST N/A N/A N/A
NON-BEARING EXIST N/A N/A N/A
TENANT SEPARATION N/A N/A N/A
CIG/FLR ASSEMBLY EXIST N/A
BEAMS EXIST N/A
COLUMNS EXIST N/A
CIG/ROOF ASSEMBLY EXIST N/A
VERTICAL SHAFTS N/A N/A
CHASES - PLEAC N/A N/A
MIXED OCCUPANCY SEPARATION N/A N/A
TENANT SEPARATION N/A N/A
EXIT REQUIREMENTS:
MAXIMUM DEAD-END CORRIDOR: 20 FEET
MAXIMUM TRAVEL DISTANCE TO EXIT: 100 FEET
TOTAL OCCUPANT LOAD: SEE CHART SHEET T1.1
TOTAL EXIT WIDTH REQUIREMENT: EXISTING
TOTAL EXIT WIDTH PROVIDED: 156' TOTAL CLEAR

BUILDING CODE SUMMARY

PROJECT NAME: Burger King - Renovation
ADDRESS: 5141 Jonesboro Rd, Lake City, GA 30260
PROPOSED USE: Existing Fast Food Restaurant
OWNER/CONTACT: Premier Holdings of Georgia, LLC
REFERENCED CODES / JURISDICTION: International Building Code, 2012 Edition; International Mechanical Code, 2012 Edition; International Plumbing Code, 2012 Edition; National Electrical Code, 2014 Edition; NFPA 101 Life Safety Code 2012 Edition; International Fire Code 2012 Edition; 2010 ADA Standard for Accessible Design

Table with columns: DESIGNER OF RECORD, DESIGNER, NAME, LICENSE, TELEPHONE, ADDRESS. Includes Jim Huckestein as Designer.

Table with columns: BUILDING DATA, OCCUPANCY, MIXED OCCUPANCY, CONSTRUCTION TYPE, MIXED CONST, TYPE / CONDITION.

Table with columns: BUILDING AREA, AREA INCREASE, YES/NO, CALCULATIONS, YES/NO, TYPE / CONDITION.

Table with columns: FIRE RESISTANCE RATINGS, INTERIOR WALLS, BEARING, NON-BEARING, TENANT SEPARATION, CIG/FLR ASSEMBLY, BEAMS, COLUMNS, CIG/ROOF ASSEMBLY, VERTICAL SHAFTS, CHASES - PLEAC, MIXED OCCUPANCY SEPARATION, TENANT SEPARATION.

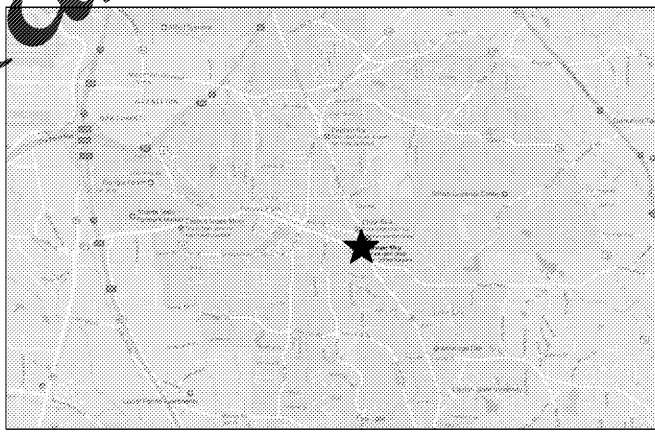
Table with columns: EXIT REQUIREMENTS, MAXIMUM DEAD-END CORRIDOR, MAXIMUM TRAVEL DISTANCE TO EXIT, TOTAL OCCUPANT LOAD, TOTAL EXIT WIDTH REQUIREMENT, TOTAL EXIT WIDTH PROVIDED.

MATERIAL SYMBOLS

- BRICK
CONCRETE
PRECAST CONCRETE
EARTH UNDISTURBED
STONE
GLASS (IN ELEVATION)
EARTH / COMPACTED FILL
POROUS FILL (STONE OR GRAVEL)
MARBLE (LARGE SCALE)
CONCRETE MASONRY UNIT
INSULATION: (LOOSE BATT OR FIRE SAFETY)
CERAMIC TILE (IN ELEVATION)
WOOD: TROUGH
WOOD: PLYWOOD
WOOD: INTERMITTENT
WOOD: LAMINATED TIMBER
GYPSUM BOARD
METAL
ALUMINUM (LARGE SCALE)

CONSTRUCTION NOTES

- 1. DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL VERIFY ON THE SITE ALL DIMENSIONS, EQUIPMENT LOCATIONS AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT PROMPTLY, IN WRITING, IN THE EVENT OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL PROVIDE CHASES FOR MECHANICAL, PLUMBING, AND ELECTRICAL AS REQUIRED. SEE RESPECTIVE DRAWING SECTIONS.
4. FOR ALL RATED AND SMOKE PARTITIONS, THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET, SWITCH BOX, ETC., SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE OF THE RECESSED OUTLETS, BOXES, ETC., SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. BOXES AND FIXTURES THAT EXCEED INCHES OR 16 SQUARE THE AGGREGATE AREA LIMITATION SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN THE PARTITION RATING BEHIND THE BOXES OR FIXTURES. RECESSED BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
5. PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN ROOMS WITH EXPOSED CEILING. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRACES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
6. DIMENSIONS SHOWN ON THE FLOOR PLANS ARE TO FACE OF STUD AT INTERIOR STUD WALLS, TO FACE OF FINISH AT EXISTING EXTERIOR WALLS, TO THE CENTERLINE OF COLUMNS AND FACE OF COLUMN FINISH, UNLESS OTHERWISE NOTED. NOTATION ON PLANS TO PROVIDE A "CLEAR" MINIMUM DIMENSION SHALL INCORPORATE THE FINAL FINISH THICKNESS.
7. PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS. PATCH AND SEAL PENETRATIONS IN RATED AND SMOKE WALL IN A MANNER WHICH WOULD MAINTAIN THAT WALLS RATING.
8. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL PLUMBING OR ELECTRICAL ITEM MAY BE REQUIRED. ACCESS PANELS SHALL BE OF THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
9. CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES AND CASEWORK WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.
10. SEAL AROUND ALL EXPOSED ROOF PIPING, ETC., TO COORDINATE WITH EXISTING ROOFING SYSTEM.
11. REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS AND OTHER ITEMS ON THE ROOF SURFACE.
12. THE CONTRACTOR IS REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK IN THE TRADE ON SHEETS TRADITIONALLY NOTED AS WORK OF OTHER TRADES, I.E. THE REQUIREMENT OF PROVIDING POWER TO MECHANICAL OR OTHER EQUIPMENT SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS AND NOT ON THE ELECTRICAL DRAWINGS. THE ARCHITECT WILL COORDINATE THE DESIGN WORK ON THESE ITEMS.
13. THE CONTRACTOR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION.
14. PROVIDE 2'x6" P.T. WOOD BLOCKING IN THE WALLS FOR DOOR BUMPERS, STOPS, SHELVING, WALL MOUNTED HARDWARE HANDRAILS, CASEWORK, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS INCLUDING SPECIFIED EQUIPMENT NOTED AS N.I.C.
15. WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS A MINIMUM OF 1'-6" BETWEEN THE FACE OF ADJACENT SIDE WALL AND THE CENTERLINE OF THE WATER CLOSET.
16. PAINT SURFACES OF HOLLOW METAL DOORS AND FRAMES IN A COLOR AS INDICATED ON THE SCHEDULES, OR IF NOT INDICATED, AS DIRECTED BY THE ARCHITECT.
17. THE CONTRACTOR SHALL MAINTAIN THE APPROPRIATE RATINGS WHERE THERE IS RECESSED WALL MOUNTED EQUIPMENT.
18. PATCH AND SEAL PENETRATIONS IN FIRE AND SMOKE WALLS IN A MANNER WHICH WILL MAINTAIN THE WALLS FIRE RATING. FIRE SEAL METHOD USED MUST BE A TESTED (UL/UNDERWRITER'S LABORATORIES) PENETRATION ASSEMBLY.
19. RESTAURANT TO REMAIN OPEN DURING CONSTRUCTION. G.C. TO COORD. CONSTRUCTION TIMES W/ OWNER AND TO ENSURE ALL SAFETY PRECAUTIONS ARE TAKEN TO ENSURE PATRON AND EMPLOYEE SAFETY.



Order Plans @

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Vertical sidebar containing project information, a table of revision dates, and the Burger King logo.

Vertical sidebar containing contact information for James M. Buckstein, architect AIA, including address and phone number.

Vertical sidebar containing the State of Georgia Professional Engineer seal for James M. Huckestein and project information including project number and location.