

GRAPHIC SYMBOLS

- DOOR NUMBER refer door schedule
- WINDOW SYMBOL refer window schedule; window type A
- OFFICE
- ROOM NAME & NUMBER
- SUPPLEMENTAL DRAWING see project manual
- INTERIOR ELEVATION SYMBOL see elevation 01 sheet A1.1
- PARTITION TYPE refer legend; partition number 10
- SHEET NOTE SYMBOL see note 01 of sheet notes
- BUILDING SECTION SYMBOL see section 01 sheet A5.1
- SECTION CUT SYMBOL see section 01 sheet A5.3
- MATCH LINE & SYMBOL see sheet A1.1
- EXTERIOR ELEVATION SYMBOL see elevation 01 sheet A2.1
- DETAIL AREA SYMBOL see detail 01 sheet A7.1
- REVISION TO DRAWING SYMBOL see revision 01 on sheet revision log

ABBREVIATIONS

AB Anchor Bolt	ACC Access	ACI American Concrete Institute	ACI Acoustical Ceiling Tile	ADD Address	AF Above Finished Floor	ALU Aluminum	APPROX Approximate	ARCH Architect (unit)	B&B Bagged and Burlapped	B&C Back to Back	BC Base of Curb	BD Board	BLDG Building	BLK Black	BLDG Building	BM Beam	B.M. Benchmark	BOT Bottom	BRK Brick	BSMT Basement	BT Bent	BUR Built-up Roof	BW Bottom of Wall	CAB Cabinet	CAL Caliper	CB Catch Basin	C/C Center to Center	CD Core Deck	CF Curb Foot	CHAN Channel	CH Cast Iron Pipe	CJ Construction or Connection Joint	CL Center Line	CLG Ceiling	CLO Closet	CLP Clear (panel)	CLS Closure	CMF Computed Metal Pipe	CMU Concrete Masonry Unit	CONC Concrete	CONN Connection	CONSTR Construction	CONT Continuous or Continue	CONTR Contractor or Contractor	CP Carpet (ed)	CRS Course (s)	CS Countersink	CT Ceramic Tile	CTR Center	CY Cubic Yard	D Dye	DB Double	DEM Dismantle or Demolition	DET Detail	DH Double Hung	DIA Diameter	DIA Diagonal	DIM Dimension	DIP Ductile Iron Pipe	DL Dead Load	DR Door	DS Downspout	DWG Drawing	DF Drinking Fountain	E Each	EP Each Piece	EIS Exterior Insulation Finish System	EJ Expansion Joint	ELEV Elevation/Elevator	ELEC Electric (ed)	EMER Emergency	ENGR Engineer	EOP Edge of Pavement	EQ Edge of Slope	EQ Elevation	EQ Elevation	EW Each Way	EW Electric Water Cooler	EWH Exhaust	EXP Expansion	EXT Exterior	FBO Furnished by Others	FD Floor Drain	FE Fire Extinguisher	FEC Fire Extinguisher and Cabinet	FFE Finished Floor Elevation	FHL Finished Floor Line	FHC Fire Hose and Cabinet	F/F Face to Face	FIN Finish (ed)	FL Floor	FLG Flange	FO Foundation	FOF Face of	FOB Face of Brick	FOC Face of Concrete	FOF Face of Finish	FOM Face of Masonry	FOS Face of Slab	FR Frame (ed) (ing)	FRP Fiberglass Reinforced Plastic	FR Footing	FT Footing	GL Glaze/Glue	GA Gauge	GALV Galvanized	GB Grab Bar	GI Galvanized iron	GWB Gypsum Wall Board	GYP Gypsum	HC Hollow Core/Handicap	HDW Hardware	HK Hook	HM Hollow Metal	HORZ Horizontal	HPT High Pressure/High Pressure Sealant	HT Height	HVAC Heating/Ventilating/Air Conditioning	ID Inside Diameter	IS Invert Elevation	IS Inside Face of Stud	IJ Isolation Joint	IN Inch(es)	INSUL Insulation	JAN Janitor's Closet	JG Joint Girder	COL Column	JT Joint	K Thousand	GP Key Joint	KSI 1000 # per sq in	LAM Laminated (d)	LF Linear Foot	L Length	LAV Laboratory	LAV Lavatory	LH Left Hand	LL Live Load	LLH Long Leg Horizontal	LV Live Vertical	LP Low Point	LTGA Light Gauge	LT Light	MAS Masonry	MATL Material	MAX Maximum	MC Misc. Channel	MCJ Masonry Control Joint	MECH Mechanical	MEZZ Mezzanine	MANUF Manufacture (er)	MH Main	MIN Minimum	MISC Miscellaneous	MIR Mirror	MO Masonry Opening	MT Mount (ed) (ing)	MU Mullion	NIC Not in Contract	NO Number	NOM Nominal	NTD Noted	NTS Not to Scale	OC On Center (s)	OD Outside Diameter	OFCI Owner Furnished Contractor Installed	OFOI Owner Furnished Owner Installed	OIS Outside Face of Stud	OH Overhead	OPG Opening	OPH Opposite Hand	PAR Parallel	P.C. Point of Curvature	PL Property Line, Plot	PLAM Plastic Laminated	P/P Face to Face	PNT Paint (ed)	P/P Pounds Per Square Inch	PT Patch/Pressure Treated/	PV Pave (d), (ing)	PVC Polyvinyl Chloride	PVMT Pavement	PWD Plywood	QT Quarry Tile	R Riser	RA Return Air	RAD Radius	RB Rubber Base	RCP Reinforced Concrete Pipe	RD Roof Drain	REBAR Reinforcement Bar	REF Refrigerator / Reference	REIN Reinforcement (d), (ing)	REQD Required	RET Retaining	REV Revision (d), Revised	RFG Roofing	RH Right Hand	RM Room	RFM Reinforced Masonry	RO Right of Way	ROW Right of Way	RTU Roof Top Unit	RSV Reversed (side)	SCW Solid Core Wood	SCH Schedule	SD Storm Drain	SECT Section	SH Slat, Shelving	SM Similar	SPEC Specification (s)	SG Square	SSR Sanitary Sewer	ST Slat Tee	STL Steel	STD Standard	STR Storage	STRUC Structural	SV Shear Vinyl	SV Square Yard	T Tread	T Top of Curb / Top of Curb	TC Telephone	T&G Tongue and Groove	THC Thick (ness)	TL Top of Slab	TS Tubular Steel	TS Top of Slab	T/T Top of Joist	T/S Top of Steel	TW Top of Wall	TYP Typical	TZ Terazzo	UR Urinal	UNO Unless Noted Otherwise	VAR Varnish	VB Vinyl Base	VCT Vinyl Composition Tile	VKT Vertical	VIN Vinyl	VJ V-Joint (ed)	VWC Vinyl Wall Covering	W Washer/Wash/Wide Handle	WB Wood Base	WC Water Closet	WD Wood	WH Wall Hung	WIN Window	W/P Water Proof	WSCST Welded Steel	W Welded Wire	W/W Welded Wire	W/W Welded Wire	W/W Welded Wire
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BUILDING CODE SUMMARY

PROJECT NAME: Burger King - Renovation
 ADDRESS: 5141 Jonesboro Rd, Lake City, GA 30260
 PROPOSED USE: Existing Fast Food Restaurant
 OWNER/CONTACT: Premier Holdings of Georgia, LLC
 REFERENCED CODES / JURISDICTION:
 International Building Code, 2012 Edition
 International Mechanical Code, 2012 Edition
 International Plumbing Code, 2012 Edition
 National Electrical Code, 2014 Edition
 NFPA 101 Life Safety Code 2012 Edition
 International Fire Code 2012 Edition
 2010 ADA Standard for Accessible Design

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE	TELEPHONE	ADDRESS
ARCHITECTURAL	JIM HUCKESTEIN	010016	(205) 322-1751	2126 Morris Ave, Birmingham, AL 35203
ELECTRICAL	N/A			
PLUMBING	N/A			
MECHANICAL	N/A			
STRUCTURAL	N/A			
SPRINKLER/SD, PIPE	N/A			
FIRE ALARM	N/A			
FOOD SERVICE	N/A			

BUILDING DATA:

OCCUPANCY: ASSEMBLY - A2 BUSINESS EDUCATIONAL MERCANTILE HAZARDOUS FACTORY STORAGE INSTITUTIONAL (UNRESTRAINED) INSTITUTIONAL (RESTRAINED) RESIDENTIAL

MIXED OCCUPANCY (YES/NO - SEPARATION): NO

CONSTRUCTION TYPE: IA IB IIA IIB IIA IIB IVA V VB

MIXED CONST. (YES/NO): NO TYPE / CONDITION: EXISTING CONSTRUCTION

SPRINKLED (YES/NO): NO - EXISTING
 RRE DISTRICT (YES/NO): NO
 BUILDING HEIGHT: 20'-10" NUMBER OF STORIES: ONE (1)
 MEZZANINE (YES/NO): NO
 HIGH RISE (YES/NO): NO

BUILDING AREA: 2,453 SF EXISTING

AREA INCREASE (YES/NO): NO
 IF YES, CALCULATIONS: _____

FIRE RESISTANCE RATINGS

TYPE OF WALL	REQ'D HOURLY	DETAIL # & SHEET #	% WALL OPENING	DESIGN # FOR ASSEMBLIES
BEARING WALLS:				
WEST	EXIST	N/A	N/L	N/A
EAST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
NORTH	EXIST	N/A	N/L	N/A
NON-BEARING WALLS:				
WEST	EXIST	N/A	N/L	N/A
EAST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
NORTH	EXIST	N/A	N/L	N/A
PARTY/RENEWALS:				
WEST	EXIST	N/A	N/L	N/A
EAST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
NORTH	EXIST	N/A	N/L	N/A

INTERIOR WALLS	REQ'D HOURLY	PENETRATION REQ'D HR.	DESIGN # FOR ASSEMBLIES	ASSEMBLY CONDITION
BEARING	EXIST	N/A	N/A	N/A
NON-BEARING	EXIST	N/A	N/A	N/A
TENANT SEPARATION	N/A	N/A	N/A	N/A
CIG/FLR ASSEMBLY:	EXIST	N/A		
BEAMS:	EXIST	N/A		
COLUMNS:	EXIST	N/A		
CIG/ROOF ASSEMBLY:	EXIST	N/A		
VERTICAL SHAFTS:	N/A	N/A		
CHASES - PLEAC:	N/A	N/A		
MIXED OCCUPANCY SEPARATION:	N/A	N/A		
TENANT SEPARATION:	N/A	N/A		

EXIT REQUIREMENTS:

MAXIMUM DEAD-END CORRIDOR: 20 FEET
 MAXIMUM TRAVEL DISTANCE TO EXIT: 100 FEET
 TOTAL OCCUPANT LOAD: SEE CHART SHEET T1.1
 TOTAL EXIT WIDTH REQUIREMENT: EXISTING
 TOTAL EXIT WIDTH PROVIDED: 156' TOTAL CLEAR

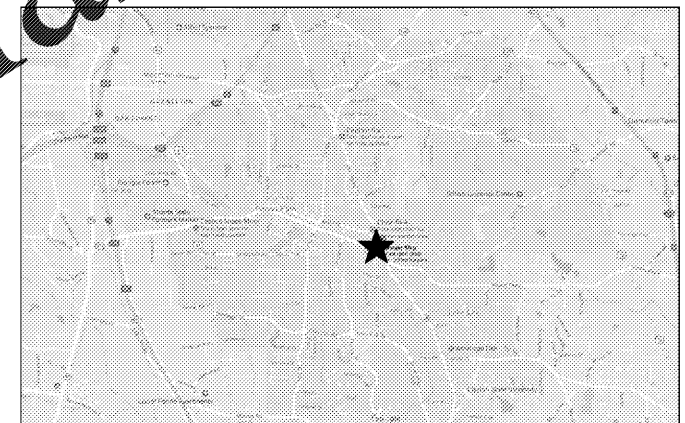
MATERIAL SYMBOLS

- BRICK
- CONCRETE
- PRECAST CONCRETE
- EARTH UNDISTURBED
- STONE
- GLASS (IN ELEVATION)
- EARTH / COMPACTED FILL
- POROUS FILL (STONE OR GRAVEL)
- MARBLE (LARGE)
- CONCRETE MASONRY UNIT
- INSULATION: (LOOSE BATT OR FIRE SAFETY)
- CERAMIC TILE (IN ELEVATION)
- WOOD: TROUGH
- WOOD: PLYWOOD
- PLASTIC LAMINATE (LARGE SCALE) ON SUBSTRATE AS INDICATED
- WOOD: INTERMITTENT
- WOOD: FINISH
- WOOD: LAMINATED TIMBER
- CERAMIC TILE (LARGE SCALE)
- GYPSUM BOARD
- METAL
- ACOUSTICAL TILE (LARGE SCALE)
- ALUMINUM (LARGE SCALE)

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ON THE SITE ALL DIMENSIONS, EQUIPMENT LOCATIONS AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT PROMPTLY, IN WRITING, IN THE EVENT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE CHASES FOR MECHANICAL, PLUMBING, AND ELECTRICAL AS REQUIRED. SEE RESPECTIVE DRAWING SECTIONS.
- FOR ALL RATED AND SMOKE PARTITIONS, THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET, SWITCH BOX, ETC., SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE OF THE RECESSED OUTLETS, BOXES, ETC., SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. BOXES AND FIXTURES THAT EXCEED INCHES OR 16 SQUARE FEET OF WALL AREA, AREA LIMITATION SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN THE PARTITION RATING BEHIND THE BOXES OR FIXTURES. RECESSED BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN ROOMS WITH EXPOSED CEILING. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRACES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE TO FACE OF STUD AT INTERIOR STUD WALLS, TO FACE OF FINISH AT EXISTING EXTERIOR WALLS, TO THE CENTERLINE OF COLUMNS AND FACE OF COLUMN FINISH, UNLESS OTHERWISE NOTED. NOTATION ON PLANS TO PROVIDE A "CLEAR" MINIMUM DIMENSION SHALL INCORPORATE THE FINAL FINISH THICKNESS.
- PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS. PATCH AND SEAL PENETRATIONS IN RATED AND SMOKE WALL IN A MANNER WHICH WOULD MAINTAIN THAT WALLS RATING.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE OF THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES AND CASEWORK WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- SEAL AROUND ALL EXPOSED ROOF PIPING, ETC., TO COORDINATE WITH EXISTING ROOFING SYSTEM.
- REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS AND OTHER ITEMS ON THE ROOF SURFACE.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK IN THE TRADE ON SHEETS TRADITIONALLY NOTED AS WORK OF OTHER TRADES, I.E., THE REQUIREMENT OF PROVIDING POWER TO MECHANICAL OR OTHER EQUIPMENT SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS AND NOT ON THE ELECTRICAL DRAWINGS. THE ARCHITECT WILL COORDINATE THE DESIGN WORK ON THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION.
- PROVIDE 2'X6" P.T. WOOD BLOCKING IN THE WALLS FOR DOOR BUMPERS, STOPS, SHELVING, WALL MOUNTED HARDWARE HANDRAILS, CASEWORK, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS INCLUDING SPECIFIED EQUIPMENT NOTED AS N.I.C.
- WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS A MINIMUM OF 1'-6" BETWEEN THE FACE OF ADJACENT SIDE WALL AND THE CENTERLINE OF THE WATER CLOSET.
- PAINT SURFACES OF HOLLOW METAL DOORS AND FRAMES IN A COLOR AS INDICATED ON THE SCHEDULES, OR IF NOT INDICATED, AS DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN THE APPROPRIATE RATINGS WHERE THERE IS RECESSED WALL MOUNTED EQUIPMENT.
- PATCH AND SEAL PENETRATIONS IN FIRE AND SMOKE WALLS IN A MANNER WHICH WILL MAINTAIN THE WALLS FIRE RATING. FIRE SEAL METHOD USED MUST BE A TESTED UL (UNDERWRITER'S LABORATORIES) PENETRATION ASSEMBLY.
- RESTAURANT TO REMAIN OPEN DURING CONSTRUCTION. G.C. TO COORD. CONSTRUCTION TIMES W/ OWNER AND TO ENSURE ALL SAFETY PRECAUTIONS ARE TAKEN TO ENSURE PATRON AND EMPLOYEE SAFETY.

Order Plans @



CHECKED BY: JMW DATE: 11.30.17
 DRAWN BY: JMW DATE: 11.30.17
 PROJECT: BURGER KING
 PROJECT #17024.11
 PROJECT: BURGER KING
 5141 JONESBORO RD
 LAKE CITY, GA 30260
 CODE INFORMATION
 T1.2
 PREMIER HOLDINGS OF GEORGIA, LLC
 3836 Stewart Road, Unit A
 Doraville, GA 30090
 2126 Morris Avenue
 Birmingham, AL 35203
 Phone: (205) 322-1751
 Fax: (205) 322-1778
 email: info@phlha.com
 www.phlha.com
 james m. buckstein architect AIA
 architecture • planning • interior design
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 JAMES M. HUCKESTEIN
 REGISTERED ARCHITECT
 11.30.17