



BURGER KING

5141 JONESBORO RD

LAKE CITY, GA 30260

RENOVATION

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DEMOLITION NOTES

- GENERAL CONTRACTOR (G.C.) SHALL COORD. ALL CUTTING AND REMOVING ITEMS, WHETHER SPECIFICALLY INDICATED OR NOT, WHICH WOULD INTERFERE WITH PROPOSED CONSTRUCTION.
- G.C. VERIFY EXTENT OF DEMOLITION SHOWN WITH CONDITIONS IN FIELD. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT.
- G.C. SHALL PROVIDE AND PLACE ALL SHORING OR STRUCTURAL UNDERPINNING REQ'D. TO SUPPORT EXISTING CONSTRUCTION DURING ALL PHASES OF CONSTRUCTION.
- G.C. SHALL MINIMIZE THE EFFECT OF DEMOLITION AND CONSTRUCTION ON THE ADJACENT AREAS THAT ARE NOT PART OF THE WORK. NOTE: ALL POLY BARRIERS MUST BE FIRE RETARDANT.
- G.C. SHALL COORDINATE DEMOLITION WORK WITH NEW WORK. DO NOT DEMOLISH BEYOND THE SCOPE OF WORK TO BE PERFORMED. G.C. IS RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY ITEMS DAMAGED NOT PART OF THE WORK AT THE CONTRACTOR'S EXPENSE.
- G.C. SHALL PROVIDE BARRICADES, SUPPORTS, RAILINGS, ETC. AS REQ'D. BY O.S.H.A. AND TO PROVIDE SAFE WORKING CONDITIONS.
- G.C. TO FIELD VERIFY ALL EXISTING HEIGHTS & COORDINATE PROPOSED NOTIFY ARCHITECT OF ANY DISCREPANCIES THAT NEW CONSTRUCTION. WOULD AFFECT DESIGN INTENT.
- ALL WORK WHICH REQUIRES ACCESS TO THE SITE AND ADJACENT AREAS TO BE COORD. W/ THE OWNER TO MINIMIZE DISTURBANCE AND INCONVENIENCE.
- ANY ASBESTOS SHALL BE REMOVED OR ENCAPSULATED BY A LICENSED ASBESTOS CONTRACTOR IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
- FIELD VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING PRICING / BID.
- PROVIDE TEMPORARY WEATHER PROTECTION DURING DEMO. & CONSTRUCTION ACTIVITIES AFFECTING EXTERIOR ENVELOPE OF THE EXISTING STRUCTURE.
- CONSULT OWNER AS TO ANY OTHER ITEMS TO BE DEMOLISHED. ALL WORK DIRECTED DEMOLITION NOT COVERED IN DRAWINGS AND AFFECTING STRUCTURAL COMPONENTS OF BUILDINGS SHOULD BE CONSULTED WITH ARCHITECT PRIOR TO COMMENCING WORK.
- PROTECT EXISTING CONSTRUCTION AND SITE FEATURES INCLUDING TREES AND SHRUBBERY FROM DAMAGE DURING DEMOLITION OPERATIONS.
- AT ANY EXISTING ELECTRICAL TO BE REMOVED, WIRING TO BE SAFFED BACK TO PANELS (AS REQ'D BY CODE). J-BOXES & CONDUITS TO BE REMOVED FROM VISIBL SURROUNDING AREA TO BE PATCHED.
- AT EXISTING PLUMBING ALL EXISTING CONDUITS TO BE PROVIDED W/ BRONZE COVERS. FLUSH W/ FLOOR OR WALL SURFACE. IF EXISTING ARE MISSING.

LIST OF CREDITS & UNIT PRICES

- UNIT PRICE FOR 100' OF CURBS & GUTTER (SEE A0.1).
- UNIT PRICING FOR 300 SF OF NEW PAVING IN ADDITION TO ITEMS NOTED ON A0.1. (SEE A0.1).
- UNIT PRICING FOR ADDITIONAL WORK INCLUDING REMOVAL / DUMPING, FILL(S), PAVING, SEALING, AND STRIPING (SEE A0.1).
- UNIT PRICING FOR WALL STUD, SHEATHING & FINISH REPLACEMENT - EXTERIOR & INTERIOR (SEE A1.1 & KEYNOTE #12/SHEET A1.2).
- 500 SF - QUARRY TILE REPLACEMENT & REGROUT - KITCHEN (SEE A1.1).
- 300 SF - WALL BOARD REMOVAL & REPAIR - DINING (SEE A1.1).
- 18'-0" LINEAR FEET WALL BOARD REPLACEMENT - KITCHEN (SEE A1.1).

SUMMARY OF NOTES

THE 'WORK' DESCRIBED BY THIS CONTRACT CONSISTS OF THE FOLLOWING DESCRIBED AREAS OF WORK:

EXTERIOR SITE WORK

- REMOVAL AND REPLACEMENT OF EXISTING PRE-ORDER MENU BOARD, AND VERTICAL CLEARANCE BAR, ORDER UNIT AND CANOPY; REPAIR OF EXISTING MAIN MENU BOARD.
- REPAIR/REPLACEMENT OF PORTIONS OF EXISTING PARKING CURBS.
- REPLACE & RELOCATION OF EXISTING HANDICAPPED PARKING AREAS, BRING UP TO CURRENT STANDARDS, INSTALL NEW CURB-RAMP AND SIDEWALK AREA PER ADA REQUIREMENTS, CREATION OF ADA WALKWAY FROM EXISTING TO CURB-RAMP, AND MODIFICATION OF EXISTING HANDICAP PARKING SIGNAGE.
- RESEALING AND RE-STRIPING OF EXISTING PARKING AREA.
- REPAINTING AND RE-LAMPING EXISTING PARKING AREAS.

EXTERIOR BUILDING WORK

- REMOVAL OF EXISTING MANSARD ROOF.
- PORTIONS OF EXISTING EXTERIOR WALLS ARE TO RECEIVE NEW FINISH-A RE-COATING OF EIFS, NEW PAINT, REPLACEMENT TRIM AND COPINGS. SEE A2.1 AND A2.2 FOR PLACEMENT, MATERIALS, ETC.
- NEW TOWERS ARE TO BE BUILT AT FRONT AND SIDES OF THE EXISTING BUILDING - SEE ELEVATIONS.
- ALL EXTERIOR BUILDING LIGHTING IS TO BE REPLACED (ELECTRICAL IS TO BE PROVIDED DESIGN-BUILD).
- EXISTING ROOFTOP EXPOSED HVAC IS TO BE REPAIRED & RESTORED.
- INSTALL NEW METAL AWNINGS / CANOPIES, LIGHT BARS, AND SIGNAGE.
- EXISTING ROOF TO BE REPLACED PER ROOF PLAN.

DINING AREA WORK

- ALL EXISTING WALL FINISHES, COPINGS, WAINSCOT, CHAIR-RAILS, TRIMS ETC. ARE TO BE REMOVED AND REPLACED WITH NEW DECOR ITEMS AS DESCRIBED BY INTERIOR DECOR DRAWINGS.
- ALL EXISTING SEAT AND TABLES ARE TO BE REMOVED AND REPLACED AS DESCRIBED BY THE INTERIOR DECOR DRAWINGS.
- EXISTING SERVING COUNTER AND CHAIR-RAIL(S) ARE TO BE REMOVED AND REPLACED AS DESCRIBED BY THE INTERIOR DECOR DRAWINGS.
- EXISTING AWNINGS AND GRIDS ARE TO BE REMOVED AND REPLACED AND LIGHTING MODIFIED AS SHOWN BY THE DRAWINGS. ALL ELECTRICAL WORK IS TO BE PROVIDED AS DESIGN-BUILD BY THE G.C.
- EXISTING TILE DINING TO BE REMOVED & REPLACED.
- INSTALL NEW FIXTURES DESCRIBED BY INTERIOR DECOR DRAWINGS (ELECTRICAL AND CABLE TO BE PROVIDED AS DESIGN-BUILD BY G.C.)
- REPLACE EXISTING DRINK COUNTER AND ASSOCIATED FINISHES AND EQUIPMENT.

RENOVATION WORK

- EXISTING WALL TILE / FINISHES AND PLUMBING FIXTURES AND ACCESSORIES ARE TO BE REMOVED AND REPLACED. ALL FIXTURES ARE TO BE REPLACED WITH NEW FIXTURES AS NOTED AND ALL FINISHES ARE TO BE REPLACED AS DESCRIBED BY THE INTERIOR DECOR DRAWINGS.

KITCHEN / OFFICE / STORAGE WORK

- ALL EXISTING FRP AND / OR TILE WALL SURFACES ARE TO BE REPAIRED OR REPLACED AS DESCRIBED ON DRAWINGS.
- ALL EXISTING FLOOR BASES AND TILE ARE TO BE REPAIRED AS DESCRIBED ON DRAWINGS.
- REMOVE & REPLACE CEILING GRID & TILES.
- EXISTING MOP SINK TO BE REPAIRED AS NECESSARY.
- EXISTING REAR SERVICE DOOR TO BE REPAIRED AND / REPAINTED.

THE WORK DESCRIBED ABOVE IS A GENERAL OUTLINE AND NOT A COMPREHENSIVE LISTING OF ALL ELEMENTS, MATERIALS, OR PROCESSES DESCRIBED ELSEWHERE IN THIS CONTRACT. THE G.C. IS RESPONSIBLE FOR THE ENTIRETY OF ALL THE ITEMS LISTED HERE AND ELSEWHERE IN THESE DRAWINGS.

SHORING NOTES

- BEFORE STARTING ANY SHORING, INVESTIGATE THOROUGHLY TO DETERMINE EXTENT AND TYPE OF SHORING NECESSARY TO SUPPORT EXISTING STRUCTURE(S).
- SET ANY NEEDLES, SCRIBBING, BRACING SHORING AS NEEDED TO CARRY EXISTING LOADS WITHOUT DEFLECTION OR SETTLEMENT OF EXISTING STRUCTURE.
- IT IS REQ'D. BEFORE ANY SHORING WORK IS DONE, THE CONTRACTOR SETS GAUGE MARKS FOR THE PURPOSE OF DEFLECTION OF SETTLEMENT AND/OR MOVEMENT DURING OPERATIONS. NEW WORK MUST CARRY EXISTING STRUCTURE WITHOUT SETTLEMENT.

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NOTES TO GENERAL CONTRACTOR

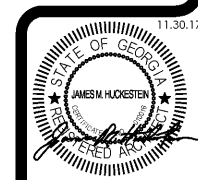
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL DRAWINGS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL PRIOR TO SUBMITTING A BID. REPORT ANY DISCREPANCIES TO ARCHITECT OR ENGINEER PRIOR TO BID.
 - BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR ANY DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD, OR TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.
 - CONTRACTOR, DURING PRE-BID SITE VISIT, SHALL TAKE NOTICE OF ANY VISUALLY APPARENT CODE VIOLATIONS AND ALLOW IN HIS/HER BID FOR CORRECTING SUCH VIOLATIONS.
 - DRAWINGS FROM THIS DRAWINGS SET ARE NOT TO BE SPLIT. ALL TRADES ARE TO RECEIVE ALL DRAWING SHEETS. THE GC IS RESPONSIBLE FOR COORDINATING ALL WORK AND INCLUDING ALL NECESSARY ITEMS TO PROVIDE A WORKING, COMPLETE BUILDING AND BUILDING SYSTEMS. GC IS RESPONSIBLE FOR COORDINATING WORK THAT MAY BE TRADITIONALLY NOTED AS PART OF ONE TRADE BUT SHOWN ON DRAWINGS FOR ANOTHER (MECHANICAL EQUIPMENT INCLUDING ELECTRICAL WORK BUT NOT SHOWN ON ELECTRICAL SHEETS).
 - THE G.C. IS TO PROVIDE ALL NECESSARY PLUMBING, ELECTRICAL, AND MECHANICAL ENGINEERING AS DESIGN-BUILD. G.C. TO INCLUDE PRICING FOR JETTING/ CLEARING ALL EXIST. PLUMBING LINES AND FOR REPAIR OF ANY KNOWN LEAKS.**
 - G.C. TO "JET" ALL EXIST. PLUMBING PRIOR TO TURN-OVER.**
 - G.C. TO PROVIDE & INSTALL THE FOLLOWING FINISH ITEMS AS SPECIFIED ON THE INTERIOR DECOR DRAWINGS:**
 - PLASTIC LAMINATE WAINSCOT & TRIMS**
 - SOLID SURFACE - SERVICE COUNTER, OFFICE & TEAM COUNTERS, CHAIR RAILS, WINDOW SILLS.**
 - LIGHTING FIXTURES**
 - TILE, BRICK, CEILING & PAINT FINISHES.**
 - FRP & TILE FINISHES @ KITCHENS.**
- THESE NOTES APPLY TO ALL SHEETS.
- NATIONAL ACCOUNT INFORMATION: REFER TO SHEET A8.2 FOR THE DIRECTORY OF MANUFACTURERS & SUPPLIERS**

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architecture • planning • interior design



PROJECT #1702611
 IMACE 2019 - JULY 2012 STANDARDS

BURGER KING
 5141 JONESBORO RD
 LAKE CITY, GA 30260

TITLE SHEET

T1.1