

- 1 EXISTING WINDOW AND FRAME TO REMAIN
 - 2 EXISTING DOOR AND FRAME TO REMAIN
 - 3 PORTION OF EXISTING SOFFIT AND FRAMING TO BE REMOVED. REMOVE PORTION OF SOFFIT/ROOFING STRUCTURE BACK TO EXISTING WALL AS REQUIRED.
 - 4 REMOVE EXISTING SEATING AND COORDINATE WITH OWNER ON DISPOSAL.
 - 5 EXISTING SEATING, FLOORING, CEILING AND DECOR TO REMAIN AS IS.
 - 6 REMOVE EXISTING DOWNSPOUT, GUTTER AND FASCIA BOARD
 - 7 NOT USED.
 - 8 REMOVE PORTION OF WALL COMPLETE AS REQUIRED FOR OPENING INTO NEW SEATING AREA.
 - 9 REMOVE EXISTING BRICK BACK TO EXISTING WALL SHEATHING.
 - 10 EXISTING WINDOWS AND FRAME TO BE REMOVED, AND STORED FOR REUSE IN NEW LOCATION.
 - 11 REMOVE EXISTING SIDEWALK, CONCRETE SLAB PATIO, LANDSCAPING AND ANY OTHER HARDWARE AREA OF NEW CONSTRUCTION. G.C. TO COORDINATE WITH OWNER IF ANY ITEMS TO BE REMOVED ARE TO BE SALVAGED FOR REINSTALLATION OR REUSED IN OTHER AREAS NOT INDICATED IN DRAWINGS.
 - 12 EXISTING SOFFIT TO REMAIN.
 - 13 EXISTING DOOR AND FRAME TO BE REMOVED COMPLETE.
 - 14 EXISTING LANDSCAPING TO BE REMOVED.
 - 15 REMOVE EXISTING BRICK PILASTER COMPLETE.
 - 16 REMOVE EXISTING BOLLARD AND GATE COMPLETE.
 - 17 REMOVE EXISTING FIRE EXTINGUISHER AND RE-USE IN NEW LOCATION.
 - 18 REMOVE EXISTING PLATE HOLDERS AND RE-USE IN NEW LOCATION.
 - 19 EXISTING PENDANT LIGHT TO BE REMOVED AND STORED FOR RE-USE IN NEW LOCATION.
- (B) DEMOLITION KEYNOTES
12" = 1'-0"

- A. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS DAILY DURING THE DEMOLITION WORK.
- B. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- C. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES. ALL EXISTING DRYWALL OR PLASTER THAT IS TO REMAIN AND TO RECEIVE A NEW SCHEDULED PAINT OR WALL COVERING SHALL HAVE ALL DEFECTS (CRACKS, PAINT CHIPPING, HOLES, ETC.) FILLED PLASTERED OR SPACKLED, SANDED SMOOTH AND CLEANED PRIOR TO SCHEDULED FINISH.
- D. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION. ABANDONED PIPES SHALL BE CAPPED IN MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- E. DEMOLITION MEANS AND METHODS ARE CONTRACTOR'S RESPONSIBILITY.
- F. REMOVE DAMAGED GLAZING AND REPLACE TO MATCH ADJACENT GLAZING.
- G. RELOCATE ANY EXISTING ELECTRICAL PANELS DISTURBED BY THIS WORK TO NEW LOCATIONS AS SHOWN ON SHEET A1.0.
- H. BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, EQUIPMENT AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
- I. BEFORE BEGINNING WORK AT THE SITE, WHERE POSSIBLE, AND THROUGHOUT THE COURSE OF THE WORK INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT BEFORE DOING RELATED WORK.
- J. THE ARCHITECTURAL DRAWINGS SHOW THE PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ARCHITECTURAL DRAWINGS DUE TO CHANGES AFFECTING EXISTING MECHANICAL, ELECTRICAL, PLUMBING OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THE CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WORK NEEDED AND DO THAT WORK INCLUDING ENGINEERING IF REQUIRED IN ACCORD WITH THE CONTRACT REQUIREMENTS.
- K. WHERE "MATCH EXISTING" IS INDICATED, NEW CONSTRUCTION OR FINISHES, AS APPROPRIATE TO THE NOTE SHALL MATCH THE EXISTING IN EVERY PARTICULAR.
- L. THE DEMOLITION CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR INVESTIGATION OF BEARING CONDITIONS BEFORE REMOVING ANY WALLS OR OTHER ELEMENTS. ANY DAMAGE TO STRUCTURE AS A RESULT OF IMPROPER DEMOLITION PROCEDURES WILL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO REPAIR AT HIS EXPENSE.
- M. THE CONTRACTOR SHALL REMOVE ELECTRICAL WIRING, OUTLETS, LIGHTS FIXTURES AND PIPING AS REQUIRED TO COMPLETE THE SCOPE OF WORK AND INTENT OF THESE DRAWINGS. ANY ACTIVE OR INACTIVE UTILITIES ENCOUNTERED SHALL BE HANDLED IN ACCORDANCE WITH REQUIREMENTS OF THE UTILITY COMPANIES, ASBESTOS AND HAZARDOUS WASTE EXCLUSION. THE ARCHITECT HEREBY STATES, AND THE OWNER ACKNOWLEDGES, THAT THE ARCHITECT HAS NO PROFESSIONAL LIABILITY OR OTHER INSURANCE (AND IS UNABLE TO REASONABLY OBTAIN SUCH INSURANCE) FOR CLAIMS ARISING OUT OF THE PERFORMANCE OF OR THE FAILURE TO PERFORM PROFESSIONAL SERVICES, INCLUDING BUT NOT LIMITED TO THE PREPARATION OF REPORTS, DESIGN DRAWINGS AND SPECIFICATIONS AS RELATED TO ASBESTOS AND HAZARDOUS MATERIALS INVESTIGATION DETECTION AND REMOVAL. IF G.C. OR HIS SUBCONTRACTORS ENCOUNTERS OR SUSPECTS HAZARDOUS MATERIALS ARE PRESENT, WORK SHALL BE CEASED IMMEDIATELY AND THE OWNER SHALL BE NOTIFIED.

(A) DEMOLITION GENERAL NOTES
12" = 1'-0"

snideman ARCHITECTS
Results

Design +, Inc.
Bardonia Eastern Building
140 Bardonia Rd. Suite 200
Louisville, KY 40204
(502) 454-0011

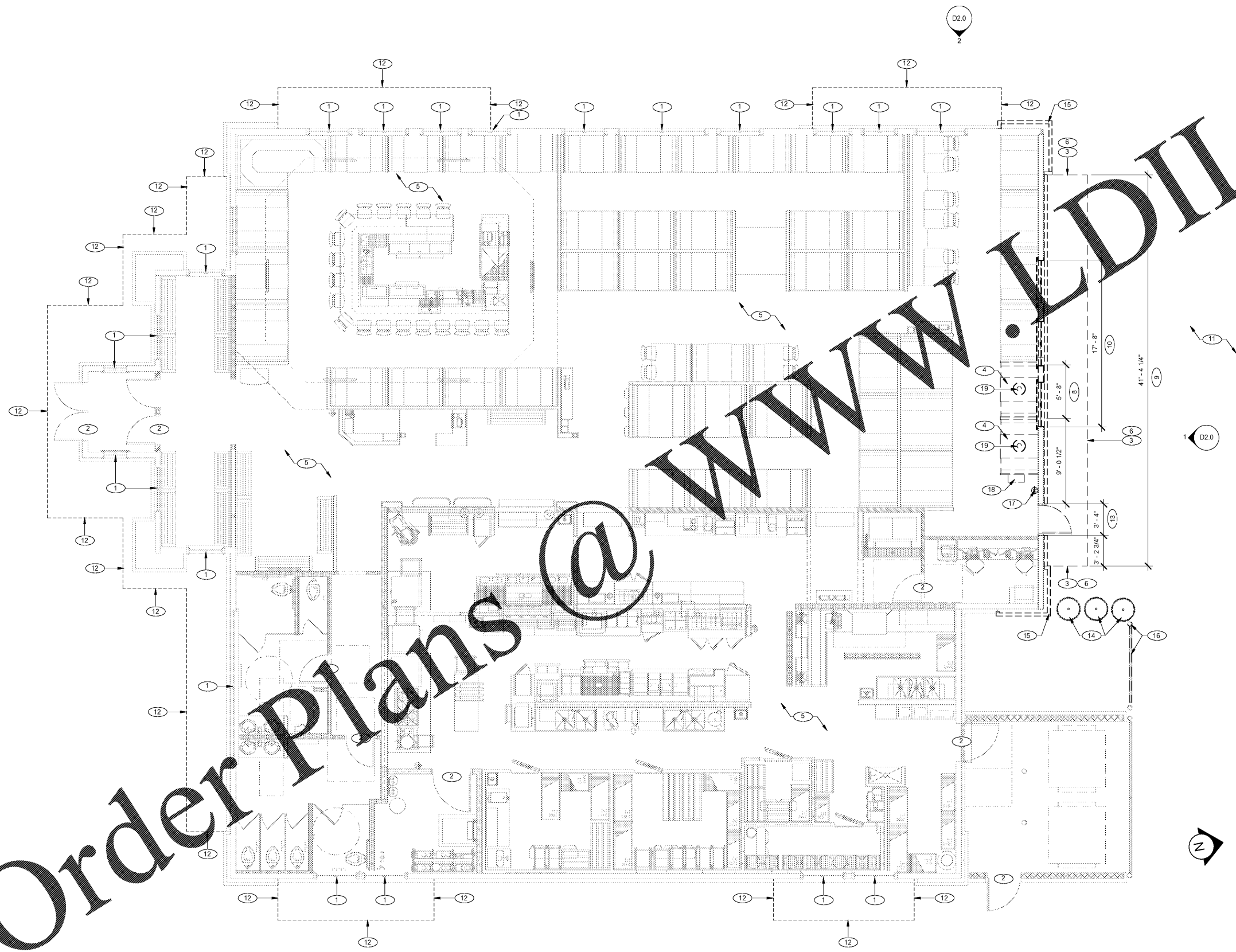
TEXAS road house
1570 W. KOGER CENTER
DRIVE RICHMOND, VA 23235

PERMIT SET	
DRAWN BY	LAJ
CHECKED BY	KRB
DATE	6/22/2017
REV. / DATE	DESCRIPTION

The Construction Documents shall consist of all drawings, specifications, surveys, soils reports, addenda and other documents. Plans of this information or drawing sheets shall be taken separately or "shaded" from the remainder of the documents to determine the particular scope of work. Any documents to be submitted to the Architect shall be interpreted at the sole discretion of the Architect.

SHEET TITLE
DEMOLITION PLAN

D1.0



(C) DEMO PLAN
3/16" = 1'-0"

QUALITY CONTROL CHECK: ADA
BLDG. CODES
EGRESS
SNOW GUARDS
SLAB THICKNESS

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