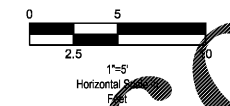


Darrin Kotecki

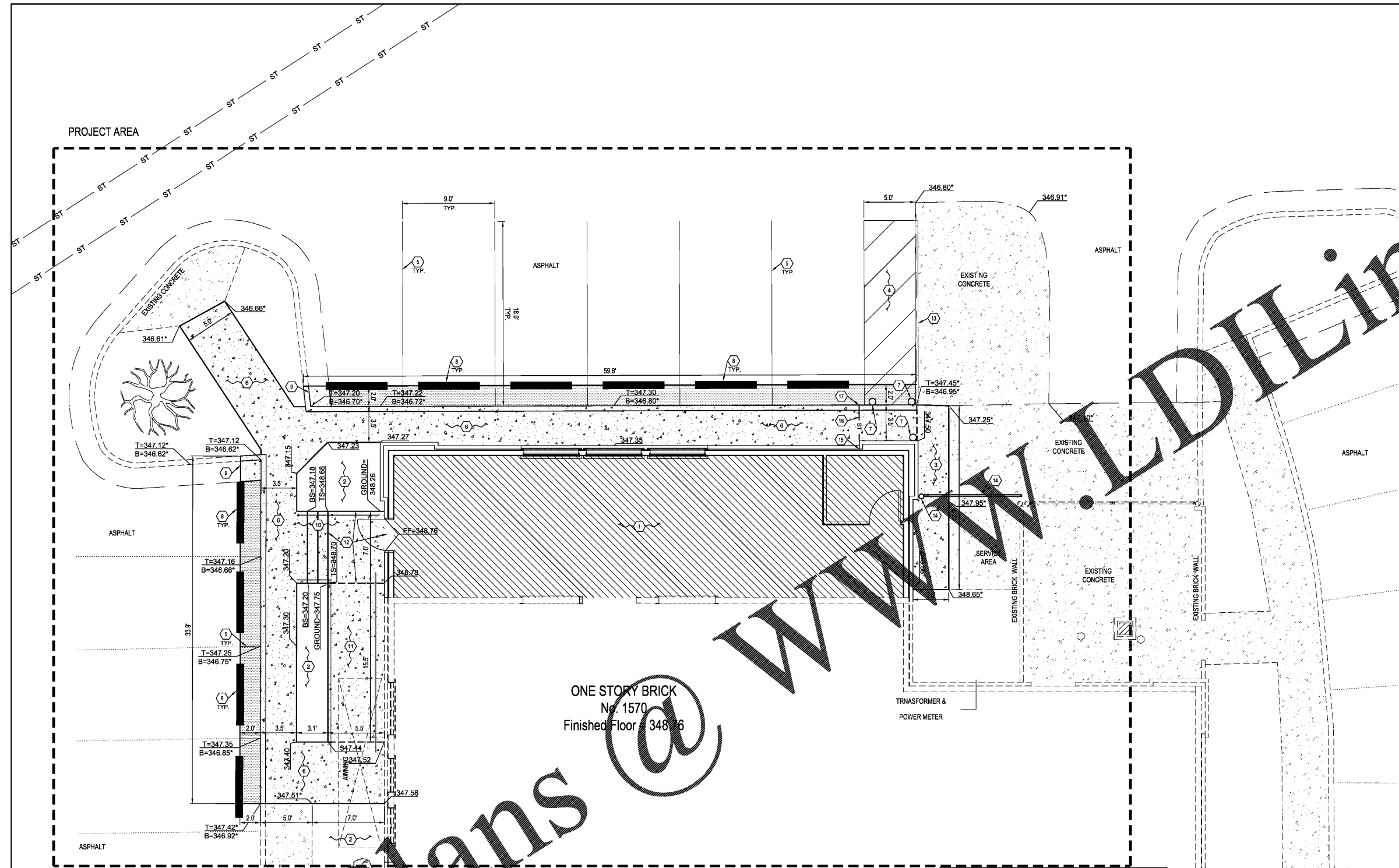
07/27/17

TEXAS Road Base
1570 W. KOGER CENTER DRIVE
RICHMOND, VA 23235



LEGEND

- (#) CONSTRUCTION KEYNOTE
- [Hatched Box] PROPOSED BUILDING ADDITION
- [Dotted Box] PROPOSED ASPHALT PAVEMENT
- [Stippled Box] PROPOSED CONCRETE
- ST PROPOSED STORM DRAIN LINE
- [Solid Line] PROPOSED CURB
- 000.00 PROPOSED SPOT GRADE
- 000.00' MATCH EXISTING PAVEMENT ELEVATION
- T=000.00 PROPOSED TOP OF CURB ELEVATION
- B=000.00 BOTTOM OF CURB FINISHED PAVEMENT ELEVATION
- TS=000.00 PROPOSED TOP OF STEP ELEVATION
- BS=000.00 BOTTOM OF STEP ELEVATION



ONE STORY BRICK
No. 1570
Finished Floor = 348.76

CONSTRUCTION KEYNOTES

- 1) PROPOSED BUILDING ADDITION REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS. PROPOSED FINISH FLOOR TO MATCH THAT OF THE EXISTING BUILDING (348.76±, MATCH EXISTING).
- 2) PROPOSED LANDSCAPE AREA. REFER TO SHEET L-111.
- 3) PROPOSED CONCRETE SLAB TO MATCH EXISTING IN KIND, REINFORCEMENT, AND THICKNESSES. CONTRACTOR SHALL PROVIDE TYPICAL DOWEL BARS @ 18" O.C. WHERE PROPOSED SLAB MEETS EXISTING, CENTERED IN THICKNESS.
- 4) PROPOSED TRANSVERSE STRIPING PER TO DETAIL, SHEET C-001.
- 5) PROPOSED PAINTED 4" WIDE SOLID STRIPE - COLOR SHALL MATCH EXISTING ON SITE.
- 6) PROPOSED P.C.C. WALK / CURBED WALK PER DETAIL ON SHEET C-001. CONTRACTOR SHALL MAINTAIN A POSITIVE DRAINAGE AWAY FROM THE BUILDING ADDITION (1.8% MAXIMUM CROSS-SLOPE) AND BLEND IN WITH THE EXISTING.
- 7) PROPOSED BOLLARD PER DETAIL ON SHEET C-001.
- 8) PROPOSED P.C.C. WHEELSTOP PER DETAIL ON SHEET C-001, (TYP. OF 10)
- 9) PROPOSED CURB AND GUTTER PER DETAIL ON SHEET C-001.
- 10) PROPOSED P.C.C. STEPS WITH HANDRAILS PER DETAIL ON SHEET C-002. TO BE POURED INTERGRAL WITH FROST SLAB.
- 11) PROPOSED RAMP WITH HANDRAILS PER DETAIL ON SHEET C-002.
- 12) PROPOSED FROST SLAB AT DOOR EXTENDED TO STAIRS AND RAMP, REFER TO STRUCTURAL PLANS.
- 13) PROPOSED 4" WIDE SOLID STRIPE - YELLOW, TO BE PAINTED ON EDGE AND VERTICAL PORTION OF CONCRETE SLAB.
- 14) PROPOSED RE-INSTALLATION OF EXISTING GATE AND BOLLARD PER OWNERS REQUIREMENTS. PRIOR TO RE-INSTALLATION, CONTRACTOR SHALL FIELD VERIFY EXISTING GATE DIMENSIONS. CONTRACTOR SHALL ENSURE PROPOSED RE-INSTALLATION LOCATION DOES NOT INTERFERE WITH EXISTING GATES THAT ARE TO REMAIN. CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND GATE SWINGS WITH OWNER AND CONSTRUCTION MANAGER PRIOR TO RE-INSTALLATION.
- 15) PROPOSED DOWNSPOUT/ROOF DRAIN CONNECTION. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- 16) PROPOSED 4 I.L.F OF 4" SDR-35 PVC STORM LINE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND NOTIFY THE CONSTRUCTION MANAGER IMMEDIATELY IF THERE IS AN ISSUE MAINTAINING POSITIVE DRAINAGE.
- 17) PROPOSED DOWNSPOUT THROUGH CURB SEE DETAIL ON SHEET C-001.

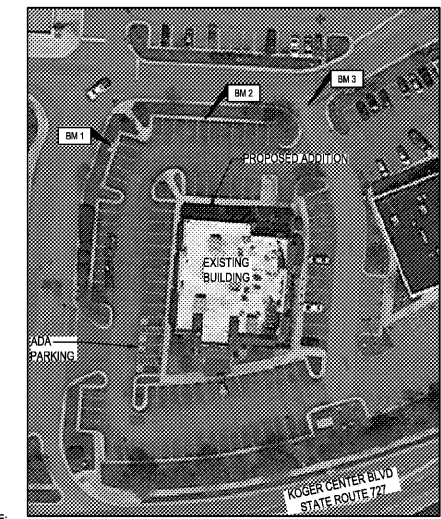
NOTE:
ADA PARKING LOCATED AT SW CORNER OF BUILDING

SITE STATISTICS	
ZONING:	C - 4 (COMMERCIAL)
PROJECT AREA:	7,350SF / 0.169± AC
DISTURBED AREA:	1,800 SF / 0.041 AC
LANDSCAPE AREA:	
EXISTING:	1,070 SF (14.6%)
PROPOSED:	447 SF (6.1%)
IMPERVIOUS AREAS: (INCLUDING BUILDING)	
EXISTING:	6,280 SF (85.4%)
PROPOSED:	6,903 SF (93.9%)
BUILDING AREA:	
EXISTING:	6,793 SF
PROPOSED:	7,258 SF
SEATS:	
EXISTING:	248
PROPOSED:	310
PARKING:	
REQUIRED	= 1 SPACE PER 100 S.F. OF GFA
	= 7,258/100 = 73 REQUIRED
EXISTING:	96
PROPOSED:	96



BENCHMARKS:

BENCHMARK #1 - PAINTED PUNCH HOLE SET ON CONCRETE ELEV=346.72'
BENCHMARK #2 - PUNCH HOLE SET IN CURB ELEV=346.97'
BENCHMARK #3 - MANHOLE S 21 ORIGIN ELEV=346.73'



NOTE:
KEY PLAN IS FOR REFERENCE ONLY.

PROJECT LOCATION MAP
N.T.S.

DRAWN BY:	NOG
CHECKED BY:	RJP
DATE:	05/01/17
REV DATE DESCRIPTION	

The Construction Documents shall consist of all drawings, specifications, surveys, site reports, addenda and other information that are incorporated by reference into these documents. None of this information or drawing sheets shall be altered or modified in any way. All interpretations shall be made by the Construction Documents. All interpretations shall be made by the Construction Documents. All interpretations shall be made by the Construction Documents. All interpretations shall be made by the Construction Documents.

SHEET TITLE
SITE PLAN
C-111