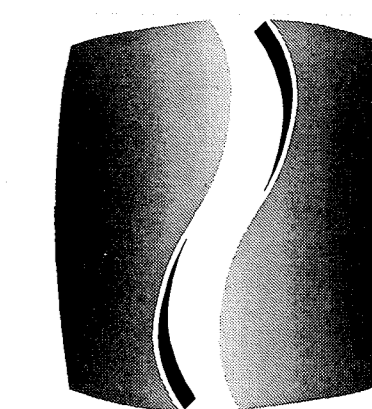


PET SUPERMARKET

WINTHROP BUILDING
6120 CAMP BOWIE BLVD,
FORT WORTH, TX 76116
TDLR #: EABPRJB7822709

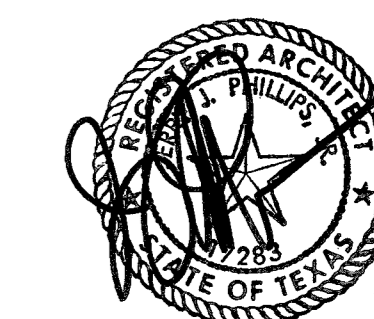


PHILLIPS

KEYPLAN

CONSULTANT

SEAL



ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
1	08/24/17	TENANT COMMENTS
2	10/10/17	TENANT/LANDLORD COMMENTS

This document is © Phillips Partnership, PC and is considered an instrument of service and is solely for use with respect to the project as indicated below. All rights reserved. This document may not be reproduced without the prior written consent of Phillips Partnership, PC.

PROJECT

WINTHROP BUILDING
PET SUPERMARKET
6120 CAMP BOWIE BLVD,
FORT WORTH, TX 76116
STORE #346

CLIENT

PET SUPERMARKET

PHILLIPS JOB NUMBER 1764904

ISSUE DATE 08/17/17

DRAWN BY/CHECKED BY BM/TG

DRAWING TITLE

COVER SHEET

SHEET NUMBER

CS-1.0

5901 PEACHTREE DUNWOODY RD.
BUILDING A, SUITE 450
ATLANTA, GEORGIA 30328
PHILLIPSPART.COM 770-394-1616

TEAM MEMBERS

TENANT: PET SUPERMARKET MICHAEL KIRKLAND
1100 INTERNATIONAL PKWY (954) 529-4197
SUNRISE, FL 33323 MKIRKLAND@PETSUPERMARKET.COM

LANDLORD: VENTURE COMMERCIAL MANAGEMENT, LLC BILL LAMKIN
5665 COLLEYVILLE BOULEVARD TEL: (817) 738-5600
SUITE 150, BLAMKIN@VENTUREDFW.COM
COLLEYVILLE, TX 76034

ARCHITECT: PHILLIPS PARTNERSHIP TIM GOERING
5901 PEACHTREE DUNWOODY RD BEZAWIT MOGES
BUILDING A, SUITE 450 TEL: (770) 394-1616
ATLANTA, GA. 30328 TGOERING@PHILLIPSPART.COM
BMOGES@PHILLIPSPART.COM

MEP: SAVANT ENGINEERING JOSHUA ANDERSON
5064 ROSWELL RD. TEL: (770) 319-7400
SUITE D-301 JANDERSON@SAVANTENG.COM
SANDY SPRINGS, GA 30328

GENERAL CONTRACTOR: TBD

BUILDING DEPARTMENT: DEPARTMENT OF BUILDING AND CODE CODY HUGHES
200 TEXAS ST., TEL: (817) 392-2867
FORT WORTH, TX 76102

DRAWING INDEX

ARCHITECTURAL		PERMIT 08/17/17	REV 1 08/24/17	REV 2 10/09/17
SHEET #	SHEET TITLE			
CS-1.0	COVER SHEET	●	●	●
A-0.1	LIFE SAFETY PLAN	●	●	●
A-0.2	GENERAL CONSTRUCTION NOTES	●	●	●
A-1.1	FLOOR PLAN AND REFLECTED CEILING PLAN	●	●	●
A-1.2	FIXTURE/FURNITURE & FINISH FLOOR PLAN	●	●	●
A-1.3	ENLARGED PLANS AND DETAILS	●	●	●
A-1.4	MODULAR DOG WASH PLANS AND DETAILS	●	●	●
A-8.1	SCHEDULES AND DETAILS	●	●	●

PLUMBING, MECHANICAL, & ELECTRICAL		PERMIT 08/17/17	REV 1 08/24/17	REV 2 10/09/17
SHEET #	SHEET TITLE			
P-0.1	SPECS, DETAILS, AND SCHEDULES - PLUMBING	●	●	●
P-1.1	FLOOR PLANS AND RISERS - PLUMBING	●	●	●
M-0.1	SPECIFICATIONS - HVAC	●	●	●
M-1.1	FLOOR PLAN, SCHEDULES, AND DETAILS - HVAC	●	●	●
E-0.1	LEGENDS AND SPECIFICATIONS	●	●	●
E-1.1	FLOOR PLAN AND DETAILS - POWER	●	●	●
E-1.2	FLOOR PLAN AND DETAILS - LIGHTING	●	●	●

CODE DATA & REQUIREMENTS

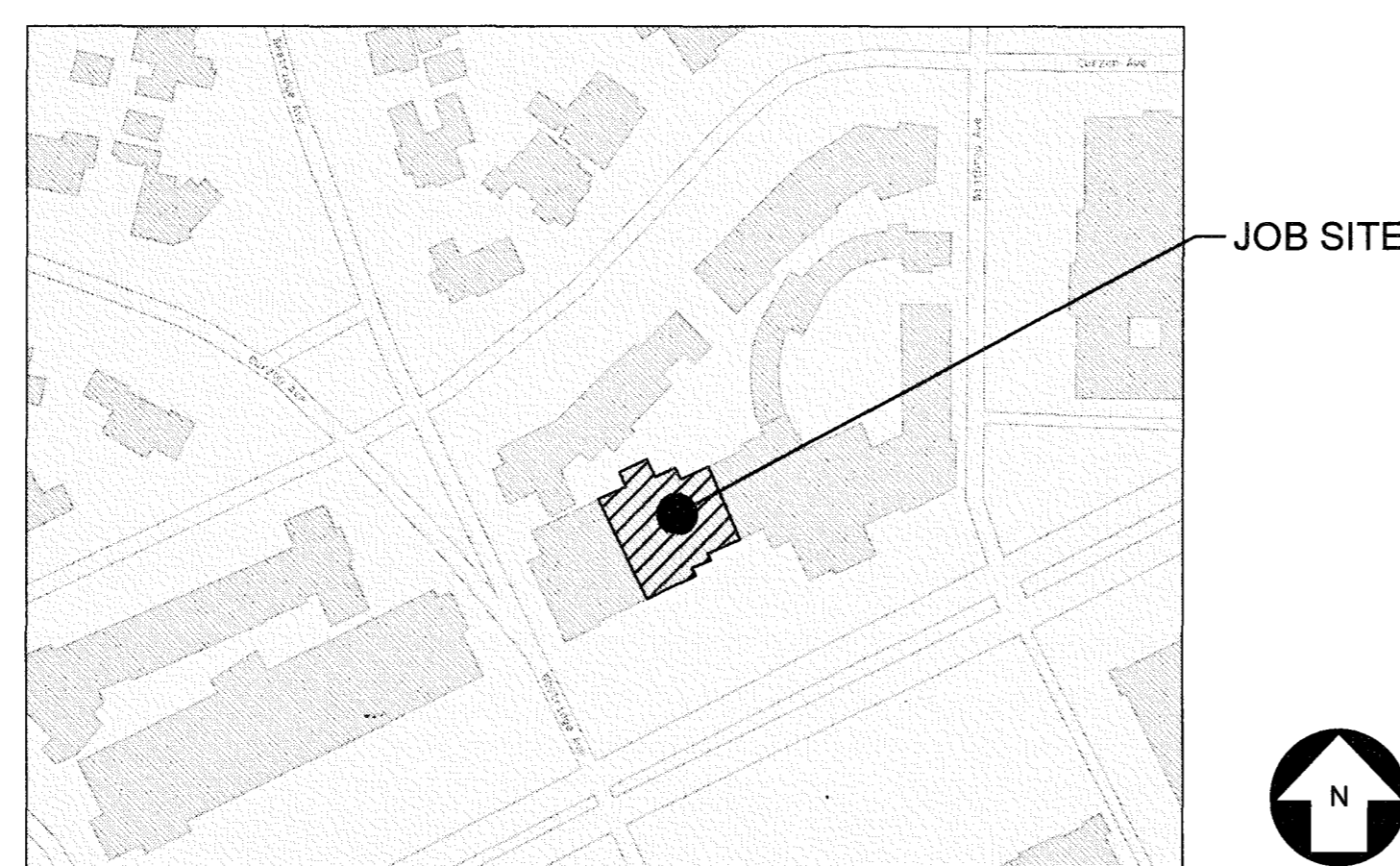
FIRE RESISTANCE RATINGS AND REQUIRED SEPARATIONS		
LOCATION	REQ'D FIRE RATING- ALL CONSTRUCTION TYPES	CODE REFERENCE
USE GROUP SEPARATION		
USE GROUP SEPARATION (BETWEEN M, B & S-1)	NO SEPARATION IS REQUIRED	TABLE 508.4 (2015 IBC)
USE GROUP SEPARATION (BETWEEN M, B & A-2)	(EXISTING) 1 HR - WITH SPRINKLER (EXISTING) 2 HR WITHOUT SPRINKLER	TABLE 508.4 (2015 IBC)
MISCELLANEOUS		
DEMISING/ CORRIDOR WALLS	NOT APPLICABLE	TABLE 1018.1 (2015 IBC)
SHAFTS & EXIT ENCLOSURES:		
CONNECTING < 3 STORIES:	NOT APPLICABLE	SECT. 713.4 (2015 IBC)
CONNECTING > 3 STORIES:	NOT APPLICABLE	
STORAGE ROOMS:		
OVER 100 SF =	AREA < 10% OF GROSS FLOOR AREA; AREA EQUIPPED WITH SPRINKLERS AND < 3000SF; or AREA < 1000SF	NO SEPARATION IS REQUIRED
CONSTRUCTION TYPE -IIIB		
STRUCTURAL FRAME	0 HR	TABLE 601 (2015 IBC)
LOAD BEARING EXTERIOR WALLS	2 HR (EXISTING)	TABLE 601 SECT. 704.5 (2015 IBC)
LOAD BEARING INTERIOR WALLS	0 HR	TABLE 601 (2015 IBC)
NONBEARING EXTERIOR WALLS	0 HR	TABLE 601 SECT. 704.5 (2015 IBC)
NONBEARING INTERIOR WALLS	0 HR	TABLE 601 & 602 & SECT. 802 (2015 IBC)
FLOOR CONSTRUCTION	0 HR	TABLE 601 (2015 IBC)/ TABLE 508.3.3
ROOF CONSTRUCTION	0 HR	TABLE 601 (2015 IBC)

CODE REQUIREMENTS- MISCELLANEOUS		
SPRINKLER SYSTEM:	REQUIRED IN BUILDINGS W/ A FIRE AREA EXCEEDING 12,000 SF. FIRE AREA IS LOCATED MORE THAN 3 STORES ABOVE GRADE PLANE, OR COMBINED AREA FOR ALL GROUP M FIRE AREAS ON ALL FLOORS INCLUDING MESSANINES, EXCEED 24,000 SF.	SECT. 903.2.6 (2015 IBC)
FIRE EXTINGUISHERS:	REQUIRED- MAX. 75' DISTANCE	SECT. 906.3.1 (2015 IBC)
STANDPIPE SYSTEM (SEE MECH./PLUMB DWGS):	CLASS III STANDPIPES- REQUIRED WHEN FLOOR LEVEL OF HIGHEST STORY IS > 30' ABOVE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. EXCEPTIONS: CLASS I- ALLOWED IN SPRINKLERED BLDGS. OR SPRINKLERED BASEMENTS CLASS 1 MANUAL- OPEN PARKING GARAGES < 150 TO TOP FLOOR LEVEL CLASS 1 MANUAL DRY- OPEN PARKING GARAGES SUBJECT TO FREEZING TEMPS. PROVIDED HOSE CONNECTIONS LOCATED PER CLASS II	SECT. 905.3.1 (2015 IBC) (EXISTING)
CODE REQUIREMENTS- MEANS OF EGRESS		
	MERCANTILE (M)	EXISTING CONSTRUCTION
STAIR WIDTH:	44" MINIMUM (36" IF < 50 PERSONS) & 0.3'OCCUPANT (NFPA)	TBL. 1005.1 (2015 IBC) & TBL. 7.3.3.1 (NFPA 101) &
OTHER EGRESS COMPONENTS:	0.2'OCCUPANT (NFPA) & 32" MIN. PER DOOR	TBL. 1005.1 (2015 IBC) & TBL. 1003.2.3 (2015 IFC)
CORRIDOR WIDTH	44" MINIMUM (36" IF < 50 PERSONS)	SECT. 1018.2 (2015 IBC)
ACCESS TO ELEC., MECH. OR PLUMB. SYSTEMS & EQUIP.	24" MINIMUM	SECT. 1018.2, EXCEPT. 1 (2015 IBC)
EXIT ACCESS TRAVEL DISTANCE:	300' MAX., SPRINKLERED (NFPA 37.2.6)	TABLE 1016.2 (2015 IBC)
EXIT OR EXIT ACCESS DOORWAY ARRANGEMENT:	AT LEAST 2 EXITS SHOULD BE ARRANGED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION.	SECT. 1015.2.1 EXCEPT 2 SECT. 1015.2.2
COMMON PATH OF TRAVEL (MAX.)	75' MAX., SPRINKLERED (NFPA 37.2.5.3)	SECT. 1029.8 (2015 IBC)
DEAD-END DISTANCE (MAX.)	20' MAX., SPRINKLERED (NFPA 37.2.5.2)	SECT. 1020.4 (2015 IBC)
OCCUPANT LOAD FACTOR (PER OCCUPANT):	30 SF GROSS MERCANTILE	TBL. 1004.1.2 (2015 IBC)
AREA OF REFUGE	NOT REQUIRED W/APPROVED SUPERVISED AUTOMATIC SPRINKLER SYSTEM	
NUMBER OF MEANS OF EGRESS FOR ANY BUILDING STORY OR PORTION THEREOF:	2 EXITS MIN. WITH < 500 OCCUPANTS 3 EXITS MIN. WITH > 500 AND < 1000 OCCUPANTS 4 EXITS MIN. WITH > 1000 OCCUPANTS	TABLE 1019.1 (IBC 2015)
DOOR SWING	EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHEN OCCUPANT LOAD IS ≥ 50 OCCUPANTS	SECT. 1010.1.2 (2015 IBC)

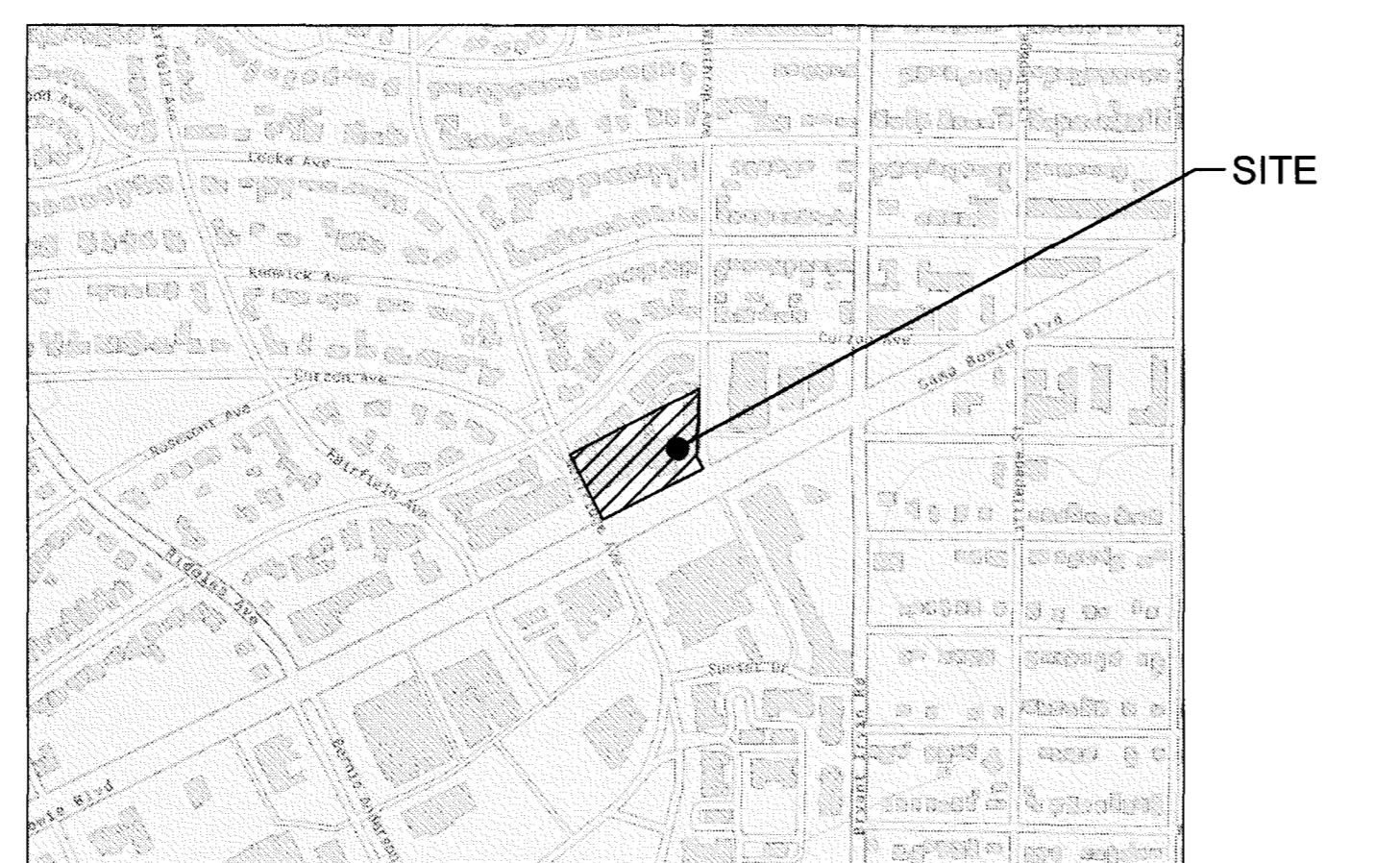
LEGEND

- STOREFRONT INDICATOR / GLASS TYPE INDICATOR
- DOOR TAG / EXTERIOR FINISH INDICATOR
- WALL SECTION INDICATOR
- ELEVATION INDICATOR
- DETAIL REFERENCE INDICATOR
- REVISION INDICATOR
- WALL TYPE INDICATOR

SITE PLAN



VICINITY MAP



CONSTRUCTION TYPE CLASSIFICATION		
CONSTRUCTION TYPE:	TYPE IIIIB	CODE REFERENCE
SPRINKLER:	N/A	N/A
USE GROUP/OCCUPANCY CLASSIFICATION:	MERCANTILE	SECT. 304 (2015 IBC)
ALLOWABLE & ACTUAL BLDG. AREA & HEIGHT PER CONSTRUCTION TYPE & OCCUPANCY:		
ALLOWABLE PER CODE	MERCANTILE M	CODE REFERENCE
NO. OF STORIES	2	TBL. 503 (2015 IBC)
NO. OF STORIES WINCREASE	3	SECT. 504.2 (2015 IBC)
BUILDING HEIGHT	55'	TBL. 503 (2015 IBC)
BUILDING HEIGHT WINCREASE	-	SPRINKLER INCREASE SECT. 504.2 (2015 IBC)
FLOOR AREA	12,500 SF/FLR	TBL. 503 (2015 IBC)
+ SPRINKLER INCREASE	37,500 SF/FLR	SECT. 506.3 (2015 IBC)
+ FRONTAGE INCREASE	NOT USED	SECT. 506.2 (2015 IBC)
TOTAL FLOOR AREA WITH INCREASES	50,000 SF/FLR	SECT. 507 (2015 IBC) (UNLIMITED AREA)
ACTUAL CONDITION		
NO. OF STORIES	1	
BUILDING HEIGHT	+/- 31'-0"	
TOTAL SQ. FOOTAGE	7,550 SF	

CODES:
BUILDING DESIGN AND CONSTRUCTION TO COMPLY WITH ALL GOVERNING NATIONAL, STATE AND LOCAL JURISDICTIONS, CODES AND ORDINANCES INCLUDING THE FOLLOWING:
International Building Code (IBC) 2015 Edition w/ Local Amendments
International Existing Building Code (IEBC) 2015 Edition w/ Local Amendments
International Fire Code (IFC) 2015 Edition w/ Local Amendments
International Fuel Gas Code (IFGC) 2015 Edition w/ Local Amendments
International Mechanical Code (IMC) 2015 Edition w/ Local Amendments
International Plumbing Code (IPC) 2015 Edition w/ Local Amendments
National Electrical Code 2014 Edition w/ Adoption and Amendments
Texas Accessibility Standard 2012 TAS Standards
International Energy Code 2015 Edition w/ Local Amendments
Fort Worth Administrative Building Code