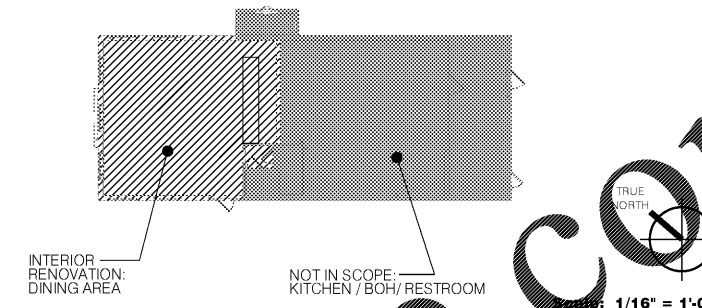




SITE PLAN
Scale: NOT TO SCALE

KEY PLAN



VICINITY MAP



PROJECT SUMMARY

PROJECT NAME:	KFC
PROJECT ADDRESS:	4630 W. BROAD STREET, SUMTER, SC
LEGAL JURISDICTION:	SUMTER COUNTY
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL FIRE CODE 2014 NATIONAL ELECTRIC CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2009 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
BUILDING FOOTPRINT AREA:	MAX. AREA 6,000 SF ACTUAL 2,231 SF
RENOVATION AREA:	863 SF
SEATING:	EXISTING: 60 PROPOSED: 52
TYPE OF CONSTRUCTION:	VB
OCCUPANCY TYPE:	A2-ASSEMBLY
NUMBER OF EXITS:	2 REQUIRED; 3 ACTUAL
NUMBER OF STORIES:	ALLOWABLE: 1; ACTUAL: 1
BUILDING HEIGHT:	ALLOWABLE: 40'-0"; ACTUAL: 20'-0"

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS WITH NEW PAINT FINISHES.

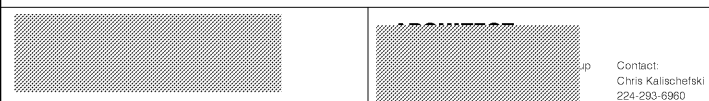
OCCUPANCY CALCULATION

SPACE	AREA (SF)	OCCUPANCY RATE	TOTAL
DINING AREA	SEATING COUNT	52	52
QUEUING	153	5	30.6
SERVICE	60	100	0.6
RESTROOM **	66	100	0.7
KITCHEN / BOH **	1302	200	6.5
**AREA NOT IN SCOPE			TOTAL OCCUPANCY 90

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK.

PROJECT DIRECTORY

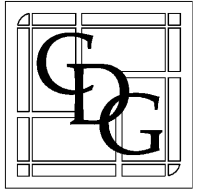


DRAWING INDEX

REVISIONS	DATE	BY	DESCRIPTION
GENERAL			
G-1.0			GENERAL INFORMATION
DEMOLITION			
D-1.0			DEMOLITION: FLOOR PLAN, CEILING PLAN & EXTERIOR ELEVATIONS
ARCHITECTURAL			
A-1.0			FLOOR FINISH & CEILING PLANS
A-1.1			FIXTURE / GRAPHIC PLACEMENT PLAN & INTERIOR ELEVATIONS
A-1.2			SEISMIC DETAILS
A-2.0			EXTERIOR ELEVATIONS



KFC



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CDDG JOB# D17070
SOUTH CAROLINA DESIGN FIRM # 101322
EXP. 05/31/2017



DATE: 08/10/17 EXP: 05/30/2019

DRAWING SUBMITTALS

Revision Mark	Date	By
03/24/2017	AMG	
DESIGN DEVELOPMENT REVIEW SET		
04/19/2017	SC	
PER CLIENT COMMENTS		
04/25/2017	SC	
PER CLIENT COMMENTS		
05/01/2017	BL	
PER CLIENT COMMENTS		
08/10/2017	PM	
REVISOR PER CITY COMMENTS		

PROJECT TITLE
"K-30 SERIES 6000 TO AMERICAN SHOWMAN" TEMPLATE VERSION RELEASE 2.0 JAN. 2016
INCENTIVE SCOPE
4630 W. BROAD STREET SUMTER, SC 29154
COMMISSION NO. J860020
SHEET TITLE

GENERAL INFORMATION

SHEET NO.
G-1.0

SITE WORK KEY NOTES

- 1 EXISTING REMOTE DUMPSTER ENCLOSURE TO REMAIN
- 2 EXISTING WHEELSTOP
- 3 EXISTING ADJUTANT
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 EXISTING PARKING LOT DIRECTIONAL SIGNAGE
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 EXISTING BUCKET SIGN
- 12 EXISTING PYLON SIGN
- 13 EXISTING SPEAKER POST TO BE PAINTED AND GRAPHICS APPLIED
- 14 EXISTING PREVIEW BOARD TO BE PAINTED
- 15 EXISTING MENU BOARD TO BE PAINTED
- 16 EXISTING CLEARANCE BAR TO BE PAINTED AND GRAPHICS APPLIED
- 17 EXISTING REMOTE DUMPSTER ENCLOSURE TO BE REPAIRED AND PAINTED
- 18 EXISTING REMOTE DUMPSTER ENCLOSURE TO BE PAINTED (Gate Only or include CMU/Block)
- 19 EXISTING LANDSCAPING TO BE UPGRADED (if required by City or under ROW)
- 20 EXISTING BOLLARDS TO BE PAINTED or INSTALL SLEEVES
- 21 NEW VENDOR PROVIDED 6 FOOT TALL X 16 FOOT LONG VINYL FENCE WITH 4"x4" ALUMINUM POSTS & CONCRETE FOOTINGS
- 22 NEW CANOPY AT DRIVE THRU SPEAKER POST - POSITION 6' OFF EXISTING SPEAKER POST FOOTING

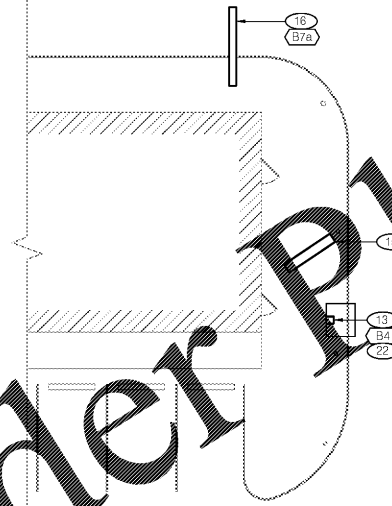
SCOPE MATRIX

Scope Type	Incentive
New Ceiling and Lighting	YES
New Restroom Refresh	NO
Dining Room Floor Tile	YES
Drive Thru Package	YES
Multibrand	KFC only
Existing Image	S6000
Store Type	K30

KFC IMAGE COMPONENTS SCHEDULE (XX)

BUILDING EXTERIOR ELEMENTS	ITEM DESCRIPTION
B4	DT - DRIVE THRU POINT CANOPY
B7a	CLEARANCE BAR - SHROUD RETROFIT FOR EXISTING CLEARANCE BAR

DRIVE THRU DETAIL
Scale: NOT TO SCALE



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