



KFC

INTERPLAN
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5008
FX 407.629.9124

SEAL
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CORPORATE SEAL

IP PROJECT NO # 2017 6445

DRAWING SUBMITTALS

DESIGN DEVELOPMENT REVIEW SET

DATE BY PERMIT SET SUBMITTAL

DATE BY PERMIT SET REVISION

DATE BY

REVISION:

Mark Date By

PROJECT TITLE

"K-30 SERIES 6000
TO AMERICAN SHOWMAN"
TEMPLATE VERSION
RELEASE 2.0 JAN. 2016

411 HIGHWAY 52, MONCKS
CORNER, SC. 29461

COMMISSION NO. H343006

ISSUE DATE 06-13-17

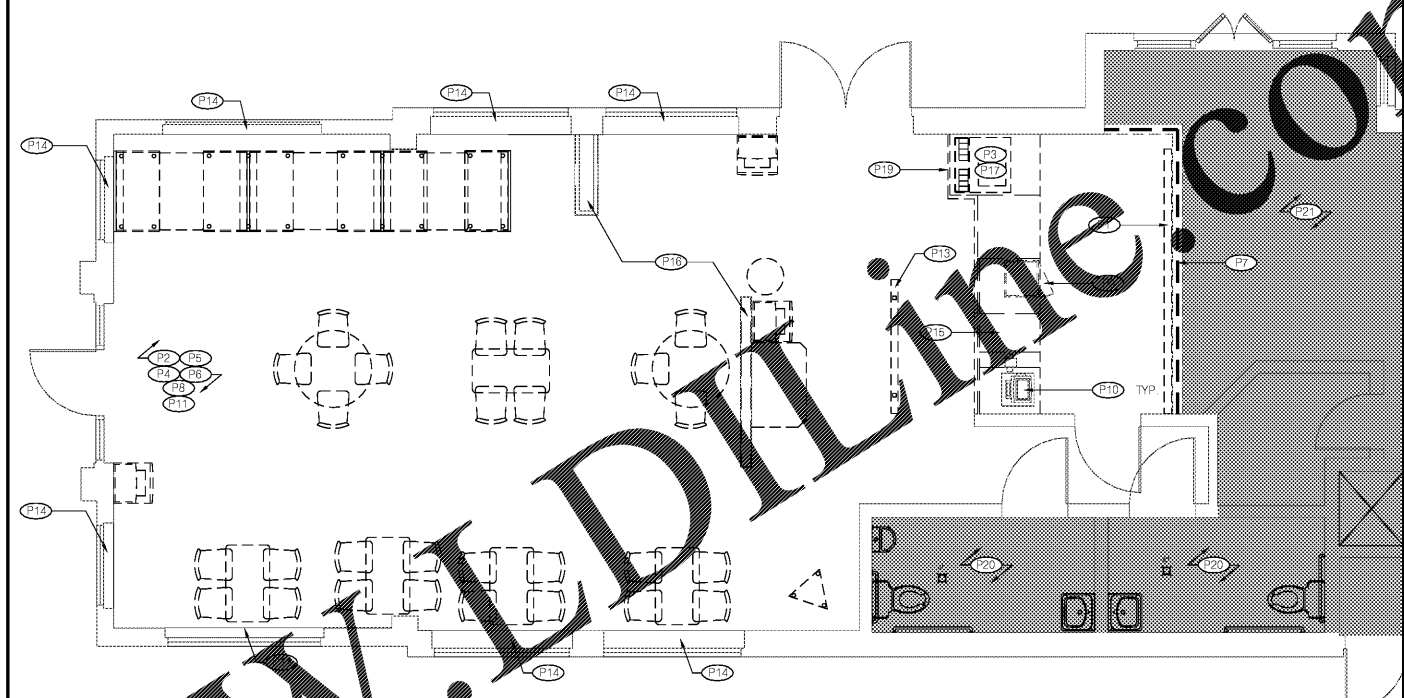
SHEET TITLE

DEMOLITION - FLOOR
PLAN, CEILING PLAN
& EXTERIOR
ELEVATIONS

SHEET NO.

D-1.0

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THIS SPACE INTENTIONALLY
LEFT BLANK

LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	NO WORK IN THIS AREA

DEMOLITION FLOOR PLAN KEY NOTES - ISR

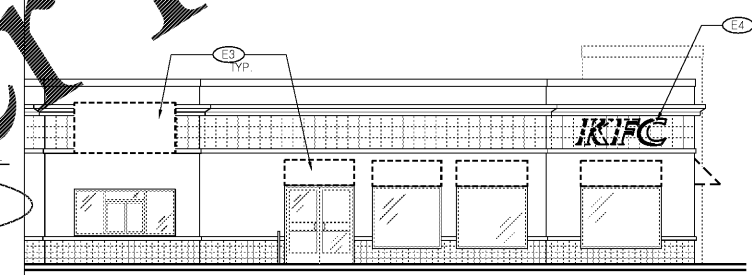
- (P1) REMOVE EXISTING MENU BOARD & SAVE FOR REUSE
- (P2) REMOVE ALL EXISTING FIXTURES, BOOTHS, TABLETOPS & CHAIRS IN DINING ROOM - EXISTING TABLE STEEL POST TO REMAIN UNLESS NOTED OTHERWISE
- (P3) EXISTING BEVERAGE DISPENSER TO BE REMOVED BY OWNERS VENDOR
- (P4) REMOVE CHAIR RAIL AND WALL COVERING ABOVE (TILE BASE AND WAINSCOTING TO REMAIN, UNLESS NOTED OTHERWISE)
- (P5) EXISTING SECURITY MONITOR SYSTEM TO REMAIN, PROTECT AS NECESSARY
- (P6) REMOVE ALL INTERIOR WALL SIGNS, DECOR ELEMENTS & ARTWORK - SAVE "KFC FOUNDATION" ARTWORK FOR REUSE
- (P7) TEMPORARY VISQUEEN DUST PARTITION, COORDINATE EXACT LOCATION IN FIELD WITH FRANCHISEE AND PROVIDE A TIGHT SEAL
- (P8) EXISTING TABLE STEEL POST TO BE REMOVED
- (P9) EXISTING UNDER-COUNTER SAFE TO REMAIN PROTECT FROM DUST
- (P10) EXISTING POS, CASH DRAWER, CUP DISPENSER AND ALL HARDWARE TO BE REMOVED, SAVED AND SEALED IN A DUST FREE ENVIRONMENT
- (P11) EXISTING FLOORING AND COVE BASE TO REMAIN
- (P12) REMOVE EXISTING HALF HEIGHT WALL - PATCH FLOOR AS NEEDED
- (P13) REMOVE ALL QUEUING RAILS AND POSTS - PATCH FLOOR AS NEEDED
- (P14) REMOVE EXISTING WINDOW SILLS
- (P15) EXISTING SERVICE COUNTER TO BE REMOVED (KNEE WALL TO BE MODIFIED AS NEEDED)
- (P16) EXISTING HALF HEIGHT WALL TO REMAIN - NEW PANEL AND CAPS
- (P17) GENERAL CONTRACTOR TO PUMP DOWN, REMOVE, AND SALVAGE EXISTING ICE MACHINE FOR REUSE
- (P18) REMOVE EXISTING ELECTRICAL (LED PANELS) MENU BOARD AND GAVE - FOR REINSTALL BY OWNER VENDOR
- (P19) EXISTING FOUNTAIN DRINK COUNTER TO BE REMOVED (KNEE WALL TO BE MODIFIED AS NEEDED) - UNLESS SS COUNTER
- (P20) KEEP EXISTING RR FIXTURES AND ACCESSORIES
- (P21) NO WORK IN THIS AREA

ELEVATION KEY NOTES - ISR

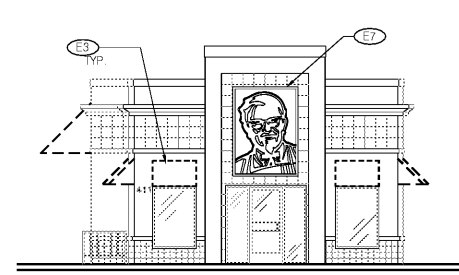
- (E1) REMOVE STRIPED PYRAMID SHROUD, FRAMING, SKIRT AND EXISTING LIGHT FIXTURE - RETAIN CIRCUIT FOR RE-USE
- (E2) REMOVE COLORED SIGN CABINET - DISCONNECT POWER & REMOVE CIRCUIT FOR RE-USE
- (E3) EXISTING EXTERIOR AWNINGS / CANOPIES TO BE REMOVED
- (E4) REMOVE EXISTING "KFC" LETTER SET-SIGN FACE FROM CABINET
- (E5) REMOVE EXISTING WALL PACK LIGHTING OVER DINING ROOM
- (E6) REMOVE EPS VENEER BACK TO EXPOSE WOOD GRAIN - REMOVE WHAT IS REMAINING OF THE SIGN CABINET - REFACE
- (E7) EXISTING CABINET REMAIN, INTERIOR REFACE

GENERAL NOTES

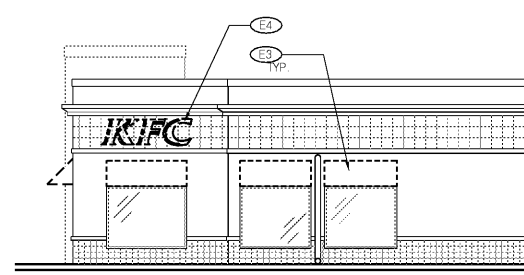
- A. THE G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE JOB AND TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT, OR ADJACENT TO THE PREMISES. THE G.C. SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS RELATIVE TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- B. THESE DEMOLITION PLANS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF WORKING DRAWINGS. DO NOT REMOVE OR DEMOLISH ANYTHING WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- C. GENERAL CONTRACTOR SHALL PAY FOR ALL REQUIRED DEMOLITION PERMIT FEES AND OBTAIN ALL APPLICABLE DEMOLITION PERMITS.
- D. GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS & EQUIPMENT DAILY DURING THE DEMOLITION WORK.
- E. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED SURFACES AS OUTLINED IN THE DRAWINGS.
- F. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS PRIOR TO CONSTRUCTION.
- G. ABANDONED PIPES SHALL BE CAPPED IN A MANNER TO CONCEAL WITHIN WALL, CEILING OR FLOOR.
- H. DEMOLITION MEANS AND METHODS ARE CONTRACTORS RESPONSIBILITY.
- I. A SINGLE RESTROOM TO BE AVAILABLE AND FUNCTIONING AT ALL TIMES FOR EMPLOYEES DURING RENOVATION.



3 - EXISTING DRIVE-THRU ELEVATION
Scale: 1/8" = 1'-0"



2 - EXISTING FRONT ELEVATION
Scale: 1/8" = 1'-0"



1 - EXISTING ENTRY ELEVATION
Scale: 1/8" = 1'-0"

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