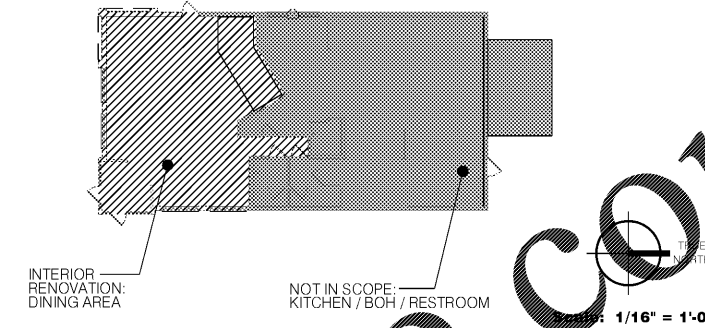


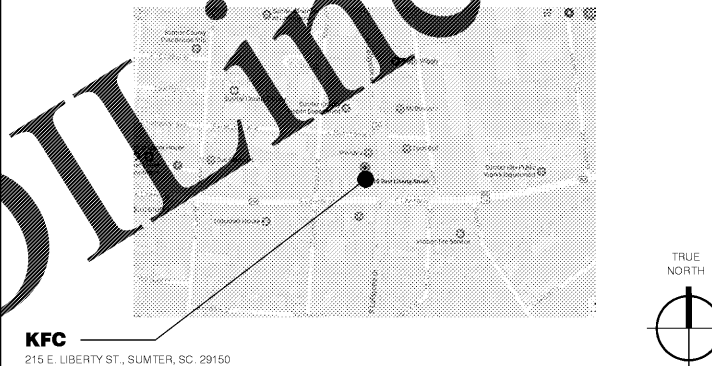


SITE PLAN
Scale: NOT TO SCALE

KEY PLAN



VICINITY MAP



KFC
215 E. LIBERTY ST., SUMTER, SC. 29150

PROJECT SUMMARY

PROJECT NAME:	KFC
PROJECT ADDRESS:	215 E. LIBERTY ST., SUMTER, SC. 29150
LEGAL JURISDICTION:	SUMTER COUNTY
BUILDING CODE:	<ul style="list-style-type: none"> 2015 INTERNATIONAL BUILDING CODE 2015 INTERNATIONAL MECHANICAL CODE 2015 INTERNATIONAL PLUMBING CODE 2015 INTERNATIONAL FIRE CODE 2014 NATIONAL ELECTRIC CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE 2009 ANSIA117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
BUILDING FOOTPRINT AREA:	MAX. AREA 6,000 SF ACTUAL 2,749 SF
RENOVATION AREA:	1,057 SF
SEATING:	EXISTING: 42 PROPOSED: 46
TYPE OF CONSTRUCTION:	VB
OCCUPANCY TYPE:	A2-ASSEMBLY
NUMBER OF EXITS:	2 REQUIRED: 4 ACTUAL
NUMBER OF STORIES:	ALLOWABLE: 1; ACTUAL: 1
BUILDING HEIGHT:	ALLOWABLE: 40'-0"; ACTUAL: 20'-0"

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THROUGH AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS WITH NEW PAINT FINISHES.

OCCUPANCY CALCULATION

SPACE	AREA (SF)	OCCUPANCY RATE	TOTAL
DINING AREA	SEATING COUNT	46	46
QUELING	135	5	27.0
SERVICE	105	100	1.1
RESTROOM **	136	100	1.4
KITCHEN / BOH **	1417	200	7.1
**AREA NOT IN SCOPE			TOTAL OCCUPANCY 82

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC CM PRIOR TO STARTING WORK.

PROJECT DIRECTORY

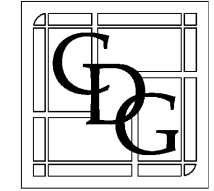
CORPORATE KFC Corporation 1900 Colonel Sanders Lane Louisville, KY 40213	Contact: 229.229.2299	ARCHITECT (A Division of The W+T Group, LLC) Corporate Design + Development Group 2875 Pratum Avenue Hoffman Estates, IL 60139	Contact: Chris Kalschewski 224-293-6966
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DRAWING INDEX

REVISIONS:	
GENERAL	
G-1.0	GENERAL INFORMATION
DEMOLITION	
D-1.0	DEMOLITION: FLOOR PLAN, CEILING PLAN & EXTERIOR ELEVATIONS
ARCHITECTURAL	
A-1.0	FLOOR FINISH & CEILING PLANS
A-1.1	FIXTURE / GRAPHIC PLACEMENT PLAN & INTERIOR ELEVATIONS
A-1.2	SEISMIC DETAILS
A-2.0	EXTERIOR ELEVATIONS



KFC



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CDDG JOB# D17071
SOUTH CAROLINA DESIGN FIRM # 101322
EXP: 05/21/2017



DATE: 06/10/2017 EXP: 05/30/2019

DRAWING SUBMITTALS

Revision Mark	Date	By
	03/07/2017	MP
		DESIGN DEVELOPMENT REVIEW SET
	04/19/2017	MP
		PER CLIENT COMMENTS
	04/05/2017	SC
		PER CLIENT COMMENTS
	05/02/2017	AMS
		PER FZ COMMENTS
	06/10/2017	PM
		REVISED PER CITY COMMENTS

APPROVED FOR CONSTRUCTION
9-8-2017 JS

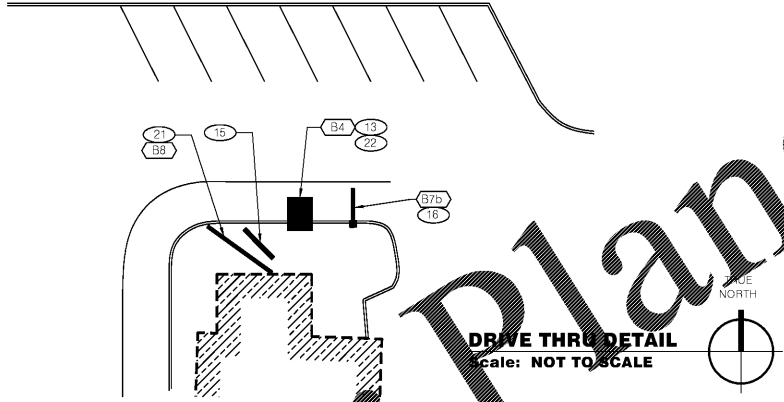
PROJECT TITLE
"K-32 SERIES 6000 TO AMERICAN SHOWMAN" TEMPLATE VERSION
RELEASE 2.0 JAN. 2016
INCENTIVE SCOPE
215 E. LIBERTY ST.
SUMTER, SOUTH CAROLINA 29150
COMMISSION NO. J860021
SHEET TITLE

GENERAL INFORMATION

SHEET NO.
G-1.0

SITE WORK KEY NOTES

- 1 EXISTING REMOTE DUMPSTER ENCLOSURE TO REMAIN
- 2 EXISTING WHEELS
- 3 EXISTING DRIVE THRU SIGN
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 EXISTING PARKING LOT DIRECTIONAL SIGNAGE TO BE REPAIRED
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED DURING CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 EXISTING BUCKET SIGN (TO BE REPLACED)
- 12 EXISTING PYLON SIGN (TO BE PAINTED)
- 13 EXISTING SPEAKER POST TO BE PAINTED AND GRAPHICS APPLIED
- 14 EXISTING PREVIEW BOARD TO BE PAINTED
- 15 EXISTING MENU BOARD TO BE PAINTED
- 16 NEW CLEARANCE BAR
- 17 EXISTING REMOTE DUMPSTER ENCLOSURE TO BE REPAIRED AND PAINTED
- 18 EXISTING REMOTE DUMPSTER ENCLOSURE TO BE PAINTED (Color Only or include CMU/Block)
- 19 EXISTING LANDSCAPING TO BE UPGRADED (If required by City or under ROW)
- 20 EXISTING BOLLARDS TO BE PAINTED or INSTALL SLEEVES
- 21 NEW VENDOR PROVIDED 8 FOOT TALL X 16 FOOT LONG VINYL FENCE WITH 4"x4" ALUMINUM POSTS & CONCRETE FOOTINGS
- 22 NEW CANOPY AT DRIVE THRU SPEAKER POST - POSITION 6" OFF EXISTING SPEAKER POST FOOTING



DRIVE THRU DETAIL
Scale: NOT TO SCALE

KFC IMAGE COMPONENTS SCHEDULE

TAG	ITEM DESCRIPTION
B4	DT - ORDER POINT CANOPY
B7b	DT CLEARANCE BAR - NEW CLEARANCE BAR
B8	SCREEN WALL BEHIND DT MENU

SCOPE MATRIX

Scope Type	Incentive
New Ceiling and Lighting	YES
New Restroom Refresh	NO
Dining Room Floor Tile	YES
Drive Thru Package	YES
Multibrand	KFC only
Existing Image	S6000
Store Type	K32

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