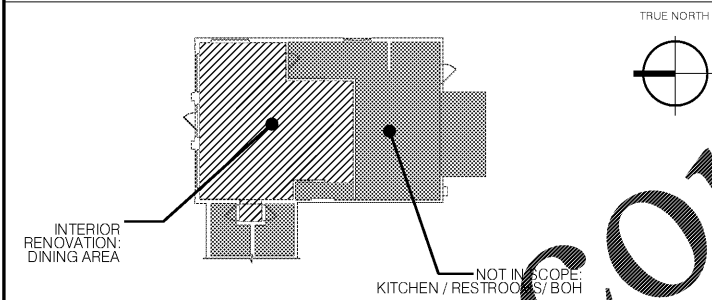


SITE PLAN
Scale: 1/16" = 1'-0"



KEY PLAN



VICINITY MAP



PROJECT SUMMARY

PROJECT NAME: KFC
 PROJECT ADDRESS: 5987 W JIM BILTON BLVD., SAINT GEORGE, SC 29477
 LEGAL JURISDICTION: DORCHESTER COUNTY
 BUILDING CODE: IBC 2015
 BUILDING FOOTPRINT AREA: 1,636 SF
 RENOVATION AREA: 759 SF
 SEATING: EXISTING: 28, PROPOSED: 28
 TYPE OF CONSTRUCTION: 5B
 OCCUPANCY: A2-ASSEMBLY

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF AN INTERIOR RENOVATION OF THE DINING AREA FOR AN EXISTING KFC RESTAURANT. THE KITCHEN AND DRIVE THRU AREAS WILL REMAIN IN OPERATION DURING THE REMODELING PROCESS. EXTERIOR IMAGE UPGRADE WILL CONSIST OF NEW EXTERIOR BRANDING & SIGNAGE ELEMENTS AND NEW PAINT FINISHES PER NEW PROTOTYPE.

PROJECT GENERAL NOTES

- A. IT IS INTENDED THAT A COMPLETE OCCUPABLE BUILDING PROJECT IS PROVIDED
- B. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND KFC GM PRIOR TO STARTING WORK.
- C. GENERAL CONTRACTOR TO PROVIDE MINIMUM 2'X8" (NOMINAL) BACKING AT EACH CANOPY ATTACHMENT POINT. CANOPY IS TO BE SECURED WITH THRU BOLT, LOCK WASHER, AND NUT INTO BACKING.

PROJECT DIRECTORY

CORPORATE

KFC Corporation
 1900 Colonel Sanders Lane
 Louisville, KY 40213

ARCHITECT

Interplan LLC
 604 Courland St., Suite 100
 Orlando, FL 32804

DRAWING INDEX

NO.	DESCRIPTION	DATE	BY
1	GENERAL		
G-1.0	GENERAL INFORMATION		
DEMOLITION			
D-1.0	DEMOLITION: FLOOR PLAN & EXTERIOR ELEVATIONS		
ARCHITECTURAL			
A-1.0	FLOOR PLAN, REFLECTED CEILING PLAN & FINISH SCHEDULE		
A-1.1	INTERIOR ELEVATIONS, FIXTURE & GRAPHICS PLAN		
A-2.0	EXTERIOR ELEVATIONS		

SITE WORK KEY NOTES - ISR BASE

- 1 EXISTING REMOTE DUMPSTER ENCLOSURE TO REMAIN
- 2 EXISTING WHEELSTOP
- 3 EXISTING ADA SIGNAGE
- 4 EXISTING CONCRETE SIDEWALK TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 5 EXISTING PARKING LOT DIRECTIONAL SIGNAGE
- 6 EXISTING CONCRETE PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 7 EXISTING CURB TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 8 EXISTING BUILDING TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 9 EXISTING ASPHALT PAVEMENT TO BE PROTECTED THROUGHOUT CONSTRUCTION
- 10 EXISTING LANDSCAPING TO REMAIN
- 11 EXISTING DUCKET SIGN
- 12 EXISTING PYLON SIGN, TO BE PAINTED SIGN
- 13 EXISTING SPEAKER POST
- 14 EXISTING TRUCK WASH
- 15 EXISTING MESSAGE BOARD
- 16 EXISTING CLEARANCE SIGN

Scope Type	Incentive
New Ceiling and Lighting	NO
New Restroom Refresh	NO
Dining Room Floor Tile	NO
Drive Thru Package	NO
Multibrand	KFC only
Existing Image	\$6000
Store Type	K30



INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

604 COURTLAND STREET
 SUITE 100
 ORLANDO, FLORIDA 32804
 PH 407.645.5008
 FX 407.629.9124

SEAL
 THIS DOCUMENT IS NOT FOR CONSTRUCTION
 UNLESS THE ARCHITECT OR ENGINEER'S
 SIGNATURE AND SEAL APPEAR BELOW.

CORPORATE SEAL

IP PROJECT NO # 2017 6443

DRAWING SUBMITTALS

DESIGN DEVELOPMENT REVIEW SET
ISSUE DATE: _____ BY: _____
PERMIT SET SUBMITTAL
DATE: _____ BY: _____
PERMIT SET REVIEW
DATE: _____ BY: _____

REVISION:

Mark	Date	By

PROJECT TITLE
 "K30 S6000 SERIES
 TO AMERICAN SHOWMAN"
 TEMPLATE VERSION
 RELEASE 2.0 JAN. 2016

5987 W. JIM BILTON BLVD.,
 SAINT GEORGE, SC 29477

COMMISSION NO: H343003

ISSUE DATE: 06/13/17

SHEET TITLE

GENERAL INFORMATION

SHEET NO.

G-1.0

Order Plans @