

REGULATORY AGENCIES & UTILITIES

ZONING DEPARTMENT: Community Development
Contact: Tucker Kelly
E: tkeller1@purcellville.gov
T: (540) 338-2304

WATER & SEWER UTILITY: Public Works
Contact: Dale Lehnig, PE, CFM
E: dlehnig@purcellville.gov
T: (540) 751-2327

BUILDING DEPARTMENT: Department of Building and Development
Contact: Danny Cox
E: had@loudoun.gov
T: (703) 777-0220

NATURAL GAS UTILITY: Amerigas
T: (304) 725-7087

HEALTH DEPARTMENT: Environmental Health
Contact: David Goodfriend
E: health@loudoun.gov
T: (703) 777-0234

ELECTRICAL UTILITY: Dominion
T: (866) 366-4357

FIRE DEPARTMENT: Department of Building and Development
Contact: Larys Lock
T: (703) 777-0220

TELEPHONE UTILITY: AT&T
T: (800) 257-0902



Store Number: 3007
"Purcellville"
1200 Wolf Rock Drive, Suite 130
Purcellville, VA 20132

UTILITY COORDINATOR

NOTE to GC:
FOR ALL WATER, SEWER,
NATURAL GAS, & ELECTRICITY
UTILITIES CONTACT:

HDRGROUP, INC
8771 WOLFF CT, SUITE 205
WESTMINSTER, CO 80031
CONTACT: MELISSA BALCERAK
MBALCERAK@HUNTERDEVELOPMENTGROUP.COM
T: (972) 396-8409

ABBREVIATIONS

CL	CENTER LINE	EXIST.	EXISTING	N/A	NOT APPLICABLE
(E)	EXISTING CONSTRUCTION	EXT.	EXTERIOR	O.C.	ON CENTER
(N)	NEW CONSTRUCTION	F.E.	FIRE EXTINGUISHER	O.D.	OUTSIDE DIAMETER
@	AT	F.O.S.	FACE OF STUD	OPNG.	OPENING
Ø	DIAMETER OR ROUND	F.O.S.F.	FACE OF STOREFRONT	OVHD.	OVERHEAD
A.C.T.	ACOUSTIC CEILING TILE	F.R.P.	FIBERGLASS REINFORCED PANEL	P.LAM.	PLASTIC LAMINATE
A.F.F.	ABOVE FINISH FLOOR	F.R.T.	FIRE RETARDANT-TREATED	P.T.	PRESSURE TREATED
ADI.	ADIACENT	FIN.	FINISH	PLUMB.	PLUMBING
APX.	APPROXIMATELY	FLR.	FLOOR	PLYWD.	PLYWOOD
B.O.	BOTTOM OF BOARD	FL.	FLOOR	PREFIN.	PREFINISHED
BLDG.	BUILDING	FEET	FEET	Q.T.	QUARRY TILE
BLK.	BLOCK	G.C.	GENERAL CONTRACTOR	R.O.	ROUGH OPENING
BLKG.	BLOCKING	GAL.	GALVE	R.W.L.	RAIN WATER LEADER
BTWN	BETWEEN	GALV.	GALVANIZED	REQ'D	REQUIRED
C.J.	CONTROL JOINT	GYP.	GYPSUM	REV.	REVERSE
C.M.	CONSTRUCTION MANAGER	H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	SHT.	SHEET
C.M.U.	CONCRETE MASONRY UNIT	HGT.	HEIGHT	SIM.	SIMILAR
CAB.	CABINET	HORIZ.	HORIZONTAL	SPEC.	SPECIFICATION
CLG.	CEILING	SO. FT.	SQUARE FEET	STD.	STANDARD
CLR.	CLEAR	STD.	STANDARD	STL.	STEEL
COL.	COLUMN	STL.	STEEL	STRUCT.	STRUCTURAL
CONC.	CONCRETE	SUSP.	SUSPENDED	T.O.	TOP OF
CONT.	CONTINUOUS	T.P.	TOILET PAPER	T.S.	TUBE STEEL
D.S.	DOWNSPOUT	TYP.	TYPICAL	TYP.	TYPICAL
DIM	DIMENSION(S)	U.N.O.	UNLESS NOTED OTHERWISE	VERT.	VERTICAL
DISP.	DISPENSER	MAX.	MAXIMUM	W/	WITH
DN.	DOWN	M.ECH.	MECHANICAL	WD.	WOOD
DWS.	DRAWING	MIN.	MINIMUM		
E.I.F.S.	EXTERIOR INSULATION & FINISH SYSTEM	MISC.	MISCELLANEOUS		
EA.	EACH	MTL.	METAL		
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT		
ELEV.	ELEVATION				
EQ.	EQUAL				

CODE ANALYSIS

Building Code: 2012 Virginia Uniform Statewide Building Code/2012 International Building Code
Mechanical Code: 2012 International Mechanical Code
Plumbing Code: 2012 International Plumbing Code
Energy Code: 2012 International Energy Conservation Code
Fuel Gas Code: 2012 International Fuel Gas Code
Electrical Code: 2011 National Electric Code
Fire Code: 2012 International Fire Code
Accessibility: ANSI A117.1-2009

A.) USE & OCCUPANCY CLASSIFICATION:
Group: A-2
o Area: 2,234 SF

B.) GENERAL BUILDING HEIGHTS & AREAS:
Existing Building Area: 3,976 SF
Proposed Use(s): A-2
Most Restrictive Use: A-2
Allowable Height: 40'-0"
Allowable Area: 6,000 SF
Area Modification:
o Frontage Increase: $If = (F/P - 0.25) \times W/30$
 $If = (256/256 - 0.25) \times 30/30$
 $If = .75$
o Area Increase:
 $Aa = [(At + (At \times If) + (At \times Is)]$
 $Aa = [(6,000 + (6,000 \times .75) + (6,000 \times 0)]$
 $Aa = 10,500$
Full Building Automatic Fire Sprinkler System: No
Non-separated Occupancies

C.) TYPES OF CONSTRUCTION:
Type: VB
Required Fire-Resistive Ratings:
NC = Noncombustible

Building Element	Rating
Structural Frame	NC
Bearing Walls - Exterior	1 Hour @ < 10 Feet
Bearing Walls - Interior	NC
Nonbearing Walls - Exterior	1 Hour @ < 10 Feet
Nonbearing Walls - Interior	NC
Floor Construction	NC
Roof Construction	NC

D.) INTERIOR FINISHES:
Required Interior Wall & Ceiling Finish Classifications:
Type of Space
Rooms & Enclosed Spaces
Finish Class
C

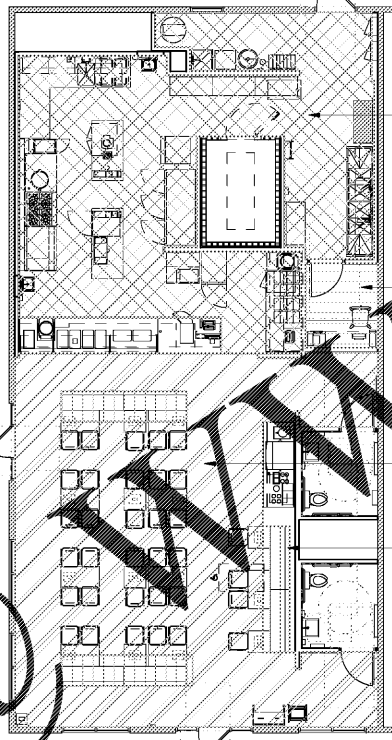
E.) MEANS OF EGRESS:
Minimum Number of Exits Required = 2 Exits
Minimum Exit Width Required:
o Minimum Exit Width For Other Egress Components = (Factor: 89 x 15 = 14") Or 2 Accessible Exits, Whichever is Greater
Maximum Exit Travel Distance Allowed = 200'-0"
Occupant Load Calculations:
Function of Space
Area of Space
Floor Area In Sq. Ft. Per Occupant
Occupant Load

Function of Space	Area of Space	Floor Area In Sq. Ft. Per Occupant	Occupant Load
Assembly w/o Fixed Seats - Unconcentrated	840	15	56
Assembly booth seating @ 24" / Person	36'-0" Length	-	18
Kitchens, Commercial	740	200	4
Business Areas	50	100	1

TOTAL OCCUPANT LOAD: 79

F.) PLUMBING FIXTURE REQUIREMENTS:
Male Occupant Load: 40
Female Occupant Load: 40
Plumbing Fixture Count Calculations:
Fixture Type
Water Closet
Lavatory

Fixture Type	Male	Females
Water Closet	1	1
Lavatory	1	1



HATCH INDICATES COMMERCIAL KITCHEN AREA
FLOOR AREA/ PERSON: 200
NET FLOOR AREA: 740
KITCHEN COUNT: 4

HATCH INDICATES BUSINESS SEATING
FLOOR AREA/ PERSON: 100
NET FLOOR AREA: 100
BUSINESS COUNT: 1

HATCH INDICATES UNCONCENTRATED SEATING
FLOOR AREA/ PERSON: 15
NET FLOOR AREA: 840
UNCONCENTRATED SEATING COUNT: 56

HATCH INDICATES BOOTH SEATING
BOOTH LENGTH/ PERSON: 24"
BOOTH LENGTH: 36'-0"
BOOTH SEATING COUNT: 18

DRAWING INDEX AND REVISIONS

6	5	4	3	2	1	SHEET NO.	SHEET DESCRIPTION
						A000	Project Data
						A001	Responsibility Matrix
						A002	Accessibility Requirements
						A010	Architectural Specifications
						A011	Architectural Specifications
						A012	Architectural Specifications
						A013	Architectural Specifications
						A014	Architectural Specifications
						A015	Architectural Specifications
						A016	Architectural Specifications
						A110	Slab Work plan
						A115	Architectural Floor Plan
						A117	Door & Hardware Schedule / Details
						A120	Finish Plan
						A125	Finish Details
						A126	Tile Details
						A130	Fixture, Furniture & Equipment Plan
						A131	Fixture, Furniture & Equipment Schedules
						A140	Reflected Ceiling Plan
						A141	Light Fixture Scheduling Details
						A142	Scheduling Plan
						A150	Architectural Roofing & Details
						A200	Elevation - Exterior
						A210	Elevation - Exterior Dining
						A220	Elevation - Exterior Kitchen
						A230	Room Plan - Elevations & Schedules
						S100	Structural Notes and Roof Framing Plans
						S200	Sections and Details
						M210	Mechanical Specifications
						M100	HVAC Plan
						M200	HVAC Schedules
						M300	HVAC Details
						P010	Plumbing Specifications
						P100	Plumbing Plan- Water & Gas
						P110	Plumbing Plan- Waste & Vent
						P200	Plumbing Schedule
						P300	Plumbing Details
						E010	Electrical Specifications
						E100	Electrical Lighting Plan
						E110	Electrical Power Plan
						E200	Electrical Schedules & Details
						E300	Electrical Details

PROJECT INFORMATION

LANDLORD: [Redacted]

ARCHITECT: Wilkus Architects
33 Ninth Avenue North
Hopkins, Minnesota 55343
Contact: Matt Wilkus
(952) 843-5059

STRUCTURAL ENGINEER: Advanced Structural Technologies
7212 Metro Blvd
Edina, Minnesota 55439
Contact: Elizabeth Larsen
(952) 854-9690

TENANT: [Redacted]

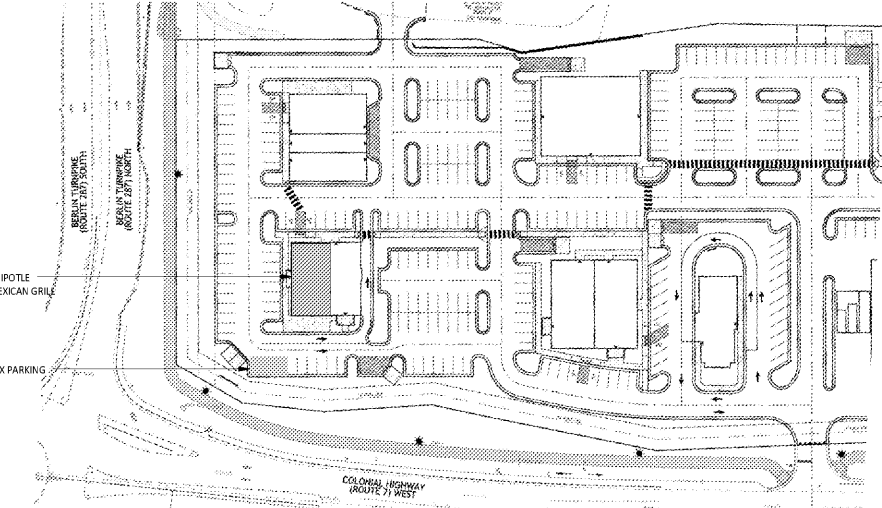
MECHANICAL ELECTRICAL PLUMBING ENGINEER: National Engineering, Ltd.
788 Morrison Road
Columbus, Ohio 43230
Contact: Francis Campbell
(614) 751-9610

GRAPHIC SYMBOLS

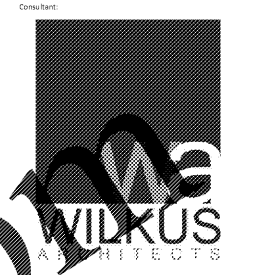
	1	INTERIOR ELEVATION MARKER
	A101	BUILDING SECTION MARKER
	A101	SECTION / DETAIL
	0	COLUMN GRID LABEL
	01	ROOM NAME AND NUMBER
		EXISTING DOOR
		NEW DOOR
	1	REVISION NUMBER
	1	KEY NOTE FOR PLANS/ELEVATIONS
	1	DOOR NUMBER
	11	MISCELLANEOUS EQUIPMENT NUMBER
	1A	FURNITURE NUMBER
	1	KITCHEN EQUIPMENT NUMBER
	1	RESTROOM ACCESSORIES NUMBER
	W1	WALL FINISH TAG
	W1	FINISH MATERIAL TRANSITION MARKER
	N	NORTH ARROW
		SPOT ELEVATION
		LEVEL MARKER



VICINITY PLAN
NOT TO SCALE



KEY PLAN
1" = 80'-0"



15 North Avenue North, Hopkins, MN 55343
Phone: 952.844.5059 | www.wilkusarch.com

EXPIRES 12-31-17
SIGNATURE
30 August, 2017
DATE

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STORE NO.: 3007
Purcellville
1200 Wolf Rock Drive, Suite 130
Purcellville, VA 20132

Issue Record:

12-15-16	Permit Set
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Revisions:

03-06-17	OWNER COMMENTS
08-23-17	CHIPOTLE COMMENTS

Drawn: D. Austin
Checked: M. Wilkus

Project No:
2016-0424

Project Data

A000