

NOTE:
REMOVE SHRUBS AND UNDERSTORY VEGETATION FROM ENTIRE SITE BY MOWING OR CUTTING.

REMOVE EXISTING WOOD SHED, COOP AND ALL APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REQUIREMENTS.

N/F
CULZEAN PROPERTIES, LLC
TMS# 005900-06-033
(GENERAL COMMERCIAL-UNIMPROVED)

LIMITS OF DISTURBANCE ON EX. 15' "RESTRICTED ZONE" SHOWN INSIDE FOR CLARITY
N/F
CULZEAN PROPERTIES, LLC
TMS# 005900-06-048
(LAND USAGE: OFFICE BUILDING)

EX. 15' "RESTRICTED ZONE" (TYP.)
EX. TREE TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION (TYP. FOR 6)
DEMOLISH & REMOVE EX. TWO-STORY BRICK BUILDING AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REQUIREMENTS.

REMOVE EX. DEMOLISHED FOUNDATION (TYP.)

SAWCUT & REMOVE EX. ASPHALT DRIVEWAY AS NECESSARY FOR PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT

BENCHMARK
5/8" REBAR EL.=355.04

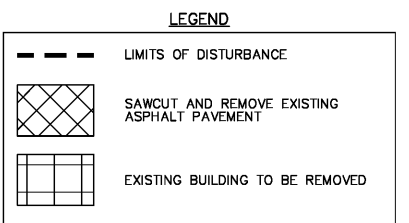
SAWCUT & REMOVE EX. ASPHALT DRIVEWAY AS NECESSARY FOR PROPOSED CONSTRUCTION IN ACCORDANCE WITH THE APPROVED ENCROACHMENT PERMIT

- NOTES**
- BOUNDARY'S AND TOPOGRAPHIC INFORMATION PROVIDED BY STEADMAN AND ASSOCIATES, INC., IN DIGITAL FORMAT, SUPPLEMENTAL OFFSITE INFORMATION PROVIDED BY LEXINGTON COUNTY GIS.
 - ALL ELEVATIONS ARE BASED ON MSL DATUM.
 - THE CONTRACTOR SHALL CALL SC811, DIAL 811 FOR ALL UNDERGROUND UTILITIES LOCATIONS AT LEAST 72 HOURS PRIOR TO EXCAVATION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY DIFFERING SITE CONDITIONS ARE NOTED.
 - THE CONTRACTOR SHALL REMOVE ALL ITEMS NECESSARY TO ALLOW PROPOSED CONSTRUCTION.
 - ALL DEMOLITION ITEMS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
 - ALL DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY DEMOLITION PERMITS.

SAWCUT & REMOVE ±81 LF EX. CONCRETE CURB & GUTTER AS NECESSARY FOR PROPOSED CONSTRUCTION

COORDINATE RELOCATION OF EX. POWER POLES AND APPURTENANCES WITH THE APPROPRIATE UTILITY COMPANY (TYP.)

REMOVE EX. OVERHEAD POWER LINES AND APPURTENANCES COORDINATE WITH THE APPROPRIATE UTILITY COMPANY (TYP.)



TOTAL DISTURBED AREA
±2.1 ACRES

N/F
FOX, FRANKLIN L & KIM
TMS# 006000-01-019

N/F
BRIGHT-LEWERS BL ASSOCIATES LP
TMS# 005900-06-027

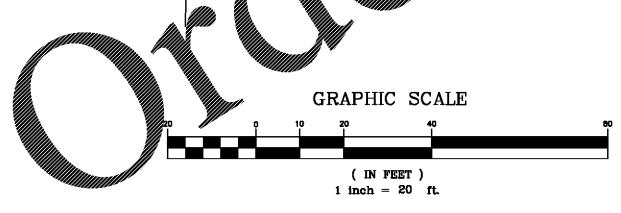
EAST CHURCH STREET - 75' R/W
(S.C. HWY. 23)

NORTH HENDRIX STREET
(APPARENT 40' R/W)

LOT SUMMARY
AREA = ±2.47 ACRES
TMS# 005900-06-034
ZONING = "C-1" (GENERAL COMMERCIAL)

DEVELOPER
MADHU SHRIVASTAVA
SHIVA SHRI, LLC
557 WHITEFORD WAY
LEXINGTON, SC 29072
PHONE: (803)348-7777
FAX: (803) 356-2084

PROJECT No. 13078



10719 WILSON BLVD. • P.O. BOX 923 • BLYTHEWOOD, S.C. 29016
(803) 714-9832 OFFICE • (856) 787-9289 FAX

NO.	DATE	DESCRIPTION

**EXISTING SITE & DEMOLITION PLAN
PROPOSED HARDEE'S RESTAURANT**

PREPARED FOR
SHIVA SHRI, LLC

IN THE TOWN OF BATESBURG-LEESVILLE, LEXINGTON COUNTY, SOUTH CAROLINA

DATE: OCT. 26, 2016 SCALE: 1" = 20' SHEET C1 OF 9