

1 PROTOTYPICAL FRONT ELEVATION 45.x

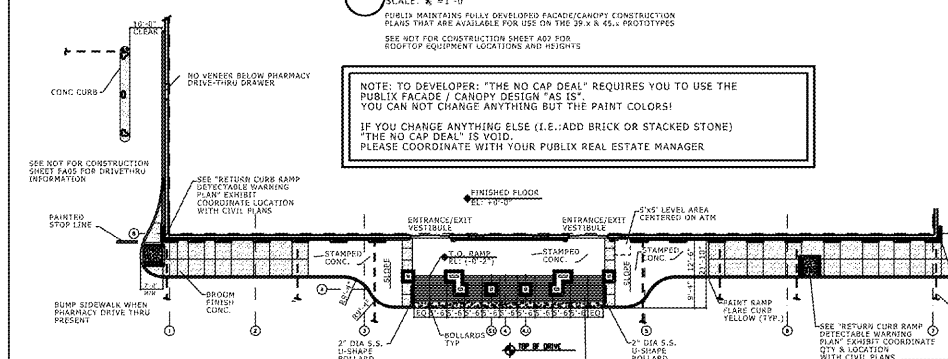
SCALE: 1/8" = 1'-0"

PHASES MAINTAIN FULLY DEVELOPED FACADE/CANOPY CONSTRUCTION PLANS THAT ARE AVAILABLE FOR USE ON THE 39.x & 45.x PROTOTYPES

SEE NOTE FOR CONSTRUCTION SHEET AND FOR EQUIPMENT LOCATIONS AND HEIGHTS

NOTE: TO DEVELOPER: "THE NO CAP DEAL" REQUIRES YOU TO USE THE PUBLIX FACADE / CANOPY DESIGN "AS IS". YOU CAN NOT CHANGE ANYTHING BUT THE PAINT COLORS!

IF YOU CHANGE ANYTHING ELSE (I.E.: ADD BRICK OR STACKED STONE) "THE NO CAP DEAL" IS VOID. PLEASE COORDINATE WITH YOUR PUBLIX REAL ESTATE MANAGER.



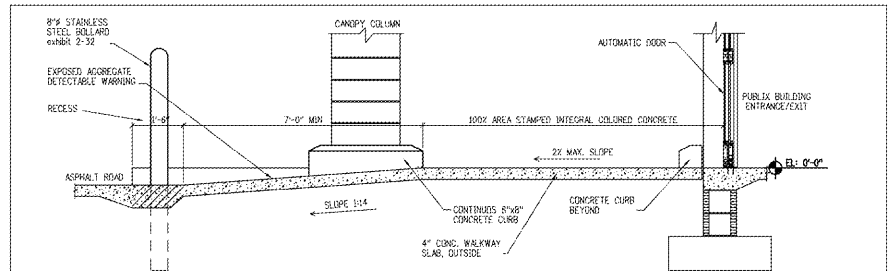
2 PAVER PLAN

SCALE: 1/8" = 1'-0"

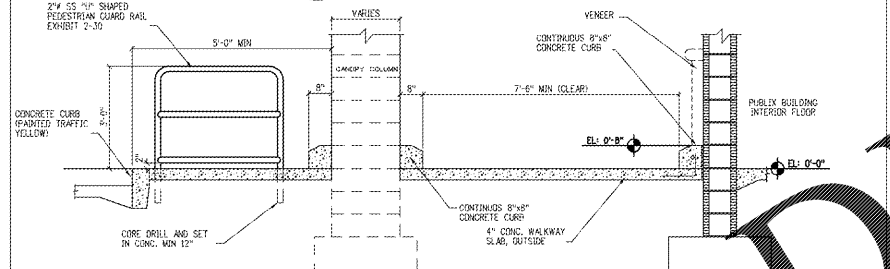
NOTE: THE SIDEWALK IS NOT PART OF THE "NO CAP DEAL" AND IS THE RESPONSIBILITY OF THE DEVELOPER'S ARCHITECT TO DESIGN

SIDEWALK PLAN FOR PROTOTYPE 45.x FACADE

Revised 09/19/2016

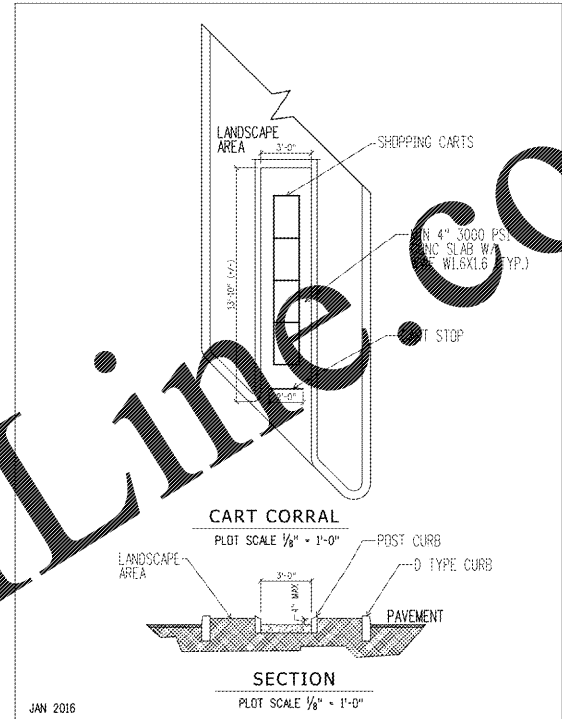


1 SECTION AT ENTRANCE/EXIT



2 SECTION AT STOREFRONT

JAN 04, 2015



CART CORRAL

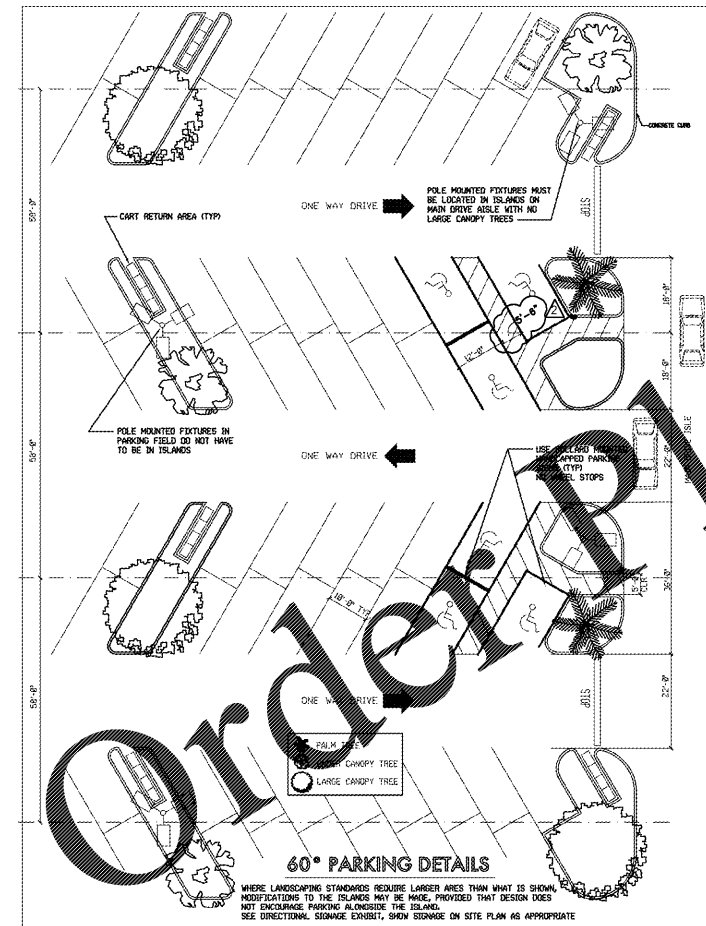
PLOT SCALE 1/8" = 1'-0"

SECTION

PLOT SCALE 1/8" = 1'-0"

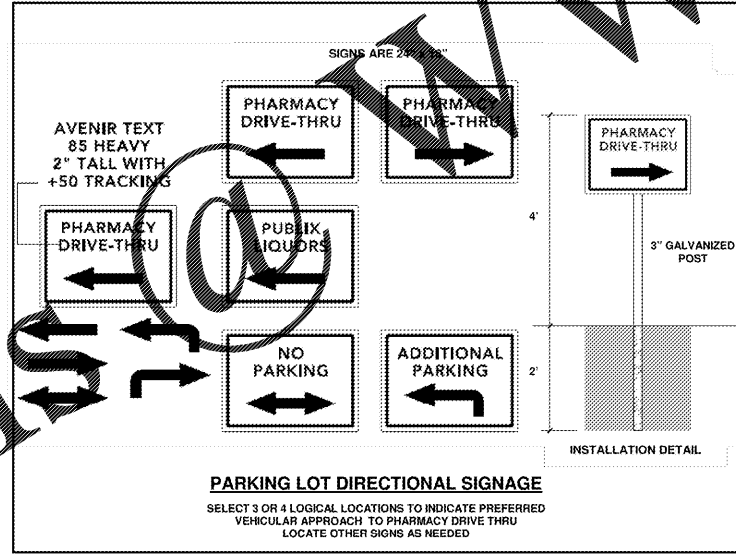
JAN 2015

12 Sidewalk Plan for Prototypical 45 Facade.dwg 10/25/2016 9:31:21 AM



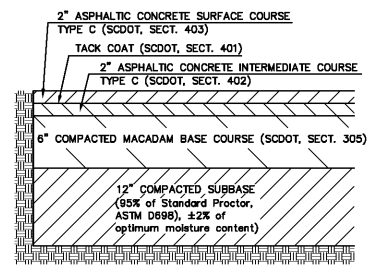
60° PARKING DETAILS

WHERE LANDSCAPING STANDARDS REQUIRE LARGER AREAS THAN WHAT IS SHOWN, ADJUSTMENTS TO THE ISLANDS MAY BE MADE PROVIDED THAT DESIGN DOES NOT ENCOURAGE PARKING ALONGSIDE THE ISLAND. SEE DIRECTIONAL SIGNAGE EXHIBIT, SHOW SIGNAGE ON SITE PLAN AS APPROPRIATE



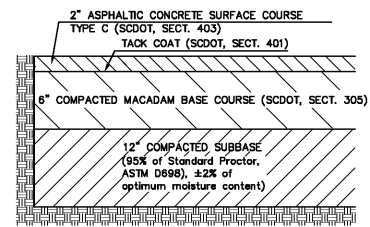
PARKING LOT DIRECTIONAL SIGNAGE

SELECT 3 OR 4 LOGICAL LOCATIONS TO INDICATE PREFERRED VEHICULAR APPROACH TO PHARMACY DRIVE THRU LOCATE OTHER SIGNS AS NEEDED



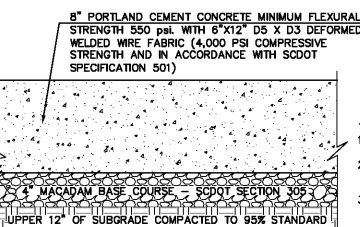
MEDIUM DUTY ASPHALTIC CONCRETE PAVEMENT SECTION

NTS



STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT SECTION

NTS

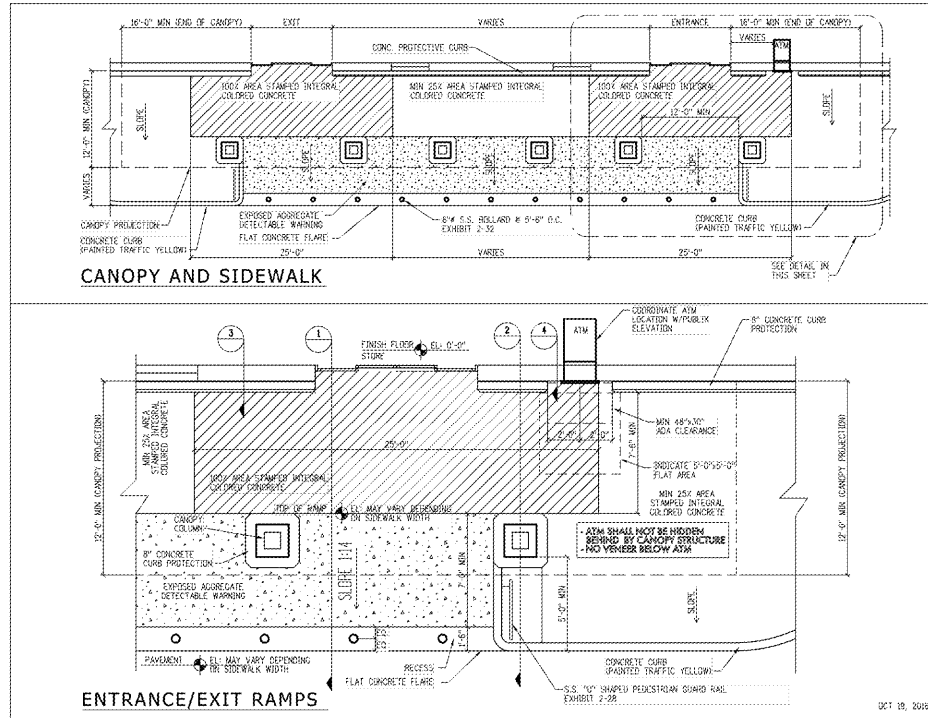


HEAVY DUTY RIGID CONCRETE PAVEMENT

NTS

NOTES:

1. ALL THICKNESSES SHOWN ARE MINIMUM COMPACTED.
2. PAVEMENT SECTIONS ARE TO BE VERIFIED W/ GEOTECHNICAL ENGINEER BEFORE CONSTRUCTION.
3. ALL PAVEMENTS AND BASES SHALL BE IN ACCORDANCE WITH THE PDR.



CANOPY AND SIDEWALK

ENTRANCE/EXIT RAMPS

OCT 15, 2015

COX AND DINKINS
ENGINEERS & SURVEYORS
AND DINKINS, INC.
SOUTH CAROLINA
COLUMBIA, SC 29205
803-254-0518
Fax: 803-765-0993
Email: cdinc@coxanddinkins.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
NO. 14890
W. HOLCOMB
REGISTERED PROFESSIONAL ENGINEER
NO. 14893

SOUTH CAROLINA
CERTIFICATE OF AUTHORIZATION
COX AND DINKINS, INC.
NO. C00294

NO.	DATE	DESCRIPTION
1	3/22/2017	Revised to add additional sheets
2	4/19/2017	Revised Per Public & Utility company comments
3	7/7/2017	Revised Water and Sanitary Sewer
4	8/6/2017	Revised building footprint
5	8/11/2017	Bid Set

DEVELOPER:
Mr. Tom Murray
WindCrest Development Group
605 East Robinson St. Suite 340
Orlando, Florida 32751
(P) 407.219.3540
(F) 407.219.3541
tmurray@WINDCREST.COM

BID SET
Publix
South Lake Drive & Platt Springs Road
LOCATED NEAR RED BANK
LEXINGTON COUNTY, SOUTH CAROLINA
DETAILS

TMS 007600-02-005, 006, 013, 084, 095, 116	BOOK N/A	SF NO. 245-19A
PROJECT NO. 1920	SHEET NO. C24	
DATE 3/15/2017	25 of 48	

COPYRIGHT © 2017 COX AND DINKINS, INC. ALL RIGHTS RESERVED. COX AND DINKINS, INC. 1920 Details.dwg, Platted By: DLH, Platted: Sep 01, 2017 1:11:42pm