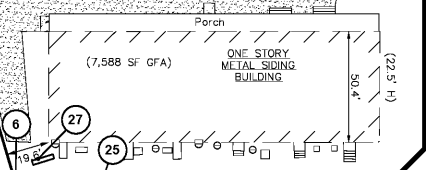


Temp. Benchmark - Nail
Elev. = 431.67

SC GRID NORTH

NOW OR FORMERLY
SOUTH LAKE PURE DENTAL LLC
TMS# 007600-02-124

SEE SHEET C6
MATCH LINE



NOW OR FORMERLY
JEAN M. MILLER
TMS# 007600-02-077

PAVING LEGEND

- 1 UNSHADED
STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT (SEE DETAIL)
- 2 MEDIUM DUTY ASPHALTIC CONCRETE PAVEMENT (SEE DETAIL)
- 3 NEW 18" "L" TYPE CURB AND GUTTER

CODED NOTES

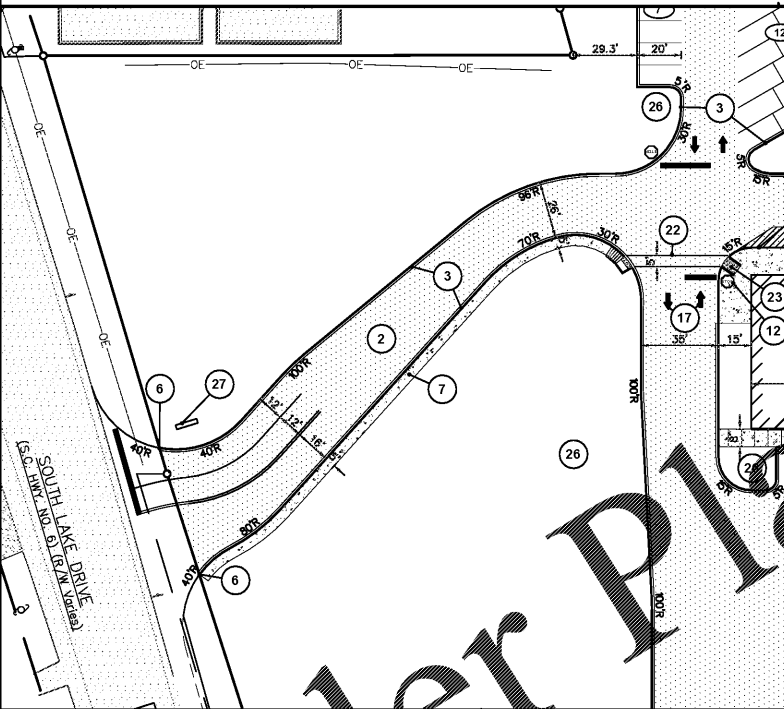
- 1 STANDARD DUTY ASPHALT PAVEMENT (SEE DETAILS) (TYPICAL) VERIFY PAVEMENT SECTION WITH GEOTECHNICAL ENGINEER. (ALL VEHICULAR PAVEMENT AREAS NOT DOT-PAVED)
- 2 MEDIUM DUTY ASPHALT PAVEMENT (SEE DETAILS) (TYPICAL) VERIFY PAVEMENT SECTION WITH GEOTECHNICAL ENGINEER. (SHOWN AS DOT-HATCHED AREA)
- 3 NEW 18" CONCRETE "L" TYPE CURB AND GUTTER. CONTRACTOR SHALL INSTALL CONTRACTION JOINTS AT 6.0' O.C. TO LINE WITH JOINTS IN SIDEWALK. INSTALL EXPANSION JOINTS AT 30' O.C. (TYPICAL) (SEE DETAIL). SEAL ALL EXPANSION JOINTS.
- 4 NEW 18" CONCRETE ROLL TYPE CURB (SEE DETAIL)
- 5 FEATHER CURB FROM TYPE CURB TO TYPE CURB AT THIS LOCATION.
- 6 FEATHER CURB (SEE DETAIL)
- 7 NEW 4" THICK 2500 PSI CONCRETE SIDEWALK (SEE DETAILS) (WIDTH OF WALK IS 4.5' UNLESS OTHERWISE NOTED) CONTRACTOR SHALL INSTALL CONTRACTION JOINTS AT 6.0' O.C. AND AT BENDS IN THE CONCRETE. INSTALL EXPANSION JOINTS AT 30' O.C. AND AT JUNCTIONS BETWEEN WALKS. MAXIMUM CROSS SLOPE = 2.0% (TYPICAL) (SEE DETAILS). SEAL ALL EXPANSION JOINTS. ALL SIDEWALKS TO BE ADA AND MUTCD COMPLIANT.
- 8 CONCRETE PAVEMENT AT DUMPSTER PAD. SEE DETAIL FOR HEAVY-DUTY CONCRETE PAVEMENT. INSTALL EXPANSION JOINTS AT ALL JUNCTIONS WITH CURB OR ASPHALT. SEE DRAWING FOR OTHER JOINTS. SEAL ALL EXPANSION JOINTS. DUMPSTER ENCLOSURE. (SEE ARCHITECTURAL PLANS). CONFIRM CONFIGURATION BEFORE CONSTRUCTION.
- 9 TIE NEW ASPHALT PAVEMENT INTO EXISTING PAVEMENT ALONG THIS LINE.
- 10 CONTRACTOR SHALL TIE NEW CURB AND GUTTER INTO EXISTING CURB AND GUTTER AT THIS LOCATION.
- 11 6" THICK CONCRETE DROP CURB DRIVEWAY MEETING SCDOT STANDARD DRAWING 720-405-00.
- 12 PROVIDE A 30" STOP SIGN (R1-1-30) PER MUTCD. (TYPICAL)
- 13 PROVIDE A 30" STOP SIGN (R1-1-30) WITH 30" DO NOT ENTER SIGN (R5-1-30) ON OPPOSITE SIDE PER MUTCD AT THIS LOCATION.
- 14 PROVIDE PHARMACY DIRECTIONAL SIGN MEETING PUBLIX REQUIREMENTS. (SEE DETAIL)
- 15 BOLLARD MOUNTED ACCESSIBLE SIGNAGE (TYPICAL @ ALL ACCESSIBLE PARKING SPACES) (SEE DETAIL)
- 16 PAINTED 18" WIDE WHITE STOP BAR. (TYPICAL) (SEE STRIPING NOTES)
- 17 PAINTED WHITE TRAFFIC DIRECTIONAL FLOW ARROW (SEE DETAILS) (SEE STRIPING NOTES) (TYPICAL)
- 18 4" WIDE PAINTED WHITE PARKING LOT STRIPING. (SEE STRIPING NOTES) (TYPICAL)
- 19 PAINTED ACCESSIBLE SYMBOL. (SEE DETAIL) (TYPICAL @ ALL ACCESSIBLE PARKING SPACES)
- 20 4" WIDE PAINTED WHITE STRIPING FOR ACCESSIBLE ROUTES. @ 45', 2' O.C. (SEE STRIPING NOTES)
- 21 4" WIDE PAINTED YELLOW STRIPING FOR FIRE LANE ACCESS. @ 45', 2' O.C. (SEE STRIPING NOTES)
- 22 8" WIDE PAINTED WHITE CROSS WALK. (SEE STRIPING NOTES)
- 23 ACCESSIBLE RAMP. (SEE DETAILS)
- 24 6' TALL BLACK VINYL COATED CHAIN LINK FENCE WITH 12' WIDE DOUBLE SWING GATE FOR MAINTENANCE.
- 25 RETAINING WALL. CONTRACTOR SHALL PROVIDE SIGNED, SEALED, ENGINEERED DESIGN PLANS FOR THE WALL FOR APPROVAL BY PUBLIX PRIOR TO ORDERING MATERIALS AND STARTING CONSTRUCTION.
- 26 LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR PERMANENT GROUND COVER.
- 27 PUBLIX MONUMENT SIGN. (SEE ARCHITECTURAL DRAWINGS FOR MORE INFO)
- 28 CART CORAL (TYPICAL) (SEE DETAIL)
- 29 1.5' CONCRETE CURB OPENING FOR DRAINAGE.
- 30 FIRE LANE CURB SHALL BE PAINTED TRAFFIC YELLOW.
- 31 PROVIDE PEDESTRIAN CROSSING SIGN MEETING PUBLIX REQUIREMENTS.
- 32 HEAVY-DUTY CONCRETE PAVEMENT. (SEE DETAIL) INSTALL EXPANSION JOINTS AT ALL JUNCTIONS WITH CURB OR ASPHALT. SEE DRAWING FOR OTHER JOINTS. SEAL ALL EXPANSION JOINTS.
- 33 BOLLARD PAINTED YELLOW.
- 34 SEE ARCHITECTURAL PLANS FOR WALKWAY DETAILS AND SCORING PATTERNS FOR ALL CONCRETE WALKS IN THE FRONT OF THE STORE.

REFERENCES:

1. ATLA/NSPS LAND TITLE SURVEY PREPARED FOR WINDCREST ACQUISITIONS, LLC, BY COX AND DINKINS, INC., DATED OCTOBER 24, 2016.

NOTES:

1. THE SUBJECT PROPERTY IS IDENTIFIED AS LEXINGTON COUNTY TAX MAP SHEET 007600, BLOCK 02, LOTS 005, 006, 013, 084, 095, & 116.
2. THE SUBJECT PARCEL CURRENTLY CONTAINS FOUR RESIDENTIAL STRUCTURES AND ONE COMMERCIAL STRUCTURE.
3. ZONING OF THE SUBJECT PARCELS IS INTENSIVE DEVELOPMENT (ID).
4. CONTOUR INTERVAL ELEVATIONS ARE ONE (1) FOOT. ELEVATIONS SHOWN ARE NAVD 88 DATUM.
5. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. THE LOCATIONS OF OTHER UNDERGROUND UTILITIES AND THEIR SERVICES ARE UNKNOWN. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.
6. THIS PROPERTY IS LOCATED IN ZONE X PER FLOOD INSURANCE RATE MAP PANEL 45079C02615 G, LAST DATED FEBRUARY 09, 2000, BY SCALED LOCATION AND GRAPHIC PLOTTING ONLY.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THEY AND THEIR SUBCONTRACTORS HAVE THE CORRECT/MOST UP-TO-DATE PLANS AVAILABLE.
8. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
9. ALL SIDEWALKS, STRIPING AND SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.



PH2 ACCESS DRIVE

NOTES REGARDING PARKING LOT SIGNAGE:

1. THE CONTRACTOR SHALL FURNISH AND INSTALL "HANDICAPPED PARKING" SIGNS WITH IDENTIFYING HANDICAPPED SYMBOL AT ALL HANDICAPPED PARKING SPACES. SIGNS SHALL BE 12"x18", 0.050 ALUMINUM WITH BAKED ENAMEL FINISH. SIGNS SHALL HAVE WHITE LETTERING ON BLUE BACKGROUND, WITH INSTALLATION AS SHOWN ON THE DETAIL SHEET. SIGNS SHALL CONFORM TO FEDERAL HIGHWAY ADMINISTRATION AND/OR SCDOT SPECIFICATIONS. INCLUDE "VAN ACCESSIBLE" SIGNAGE WHERE APPLICABLE. ALL SIGNAGE SHALL BE ADA AND MUTCD COMPLIANT.

NOTES REGARDING STRIPING:

1. ALL PARKING LOT STRIPING SHOWN SHALL BE PERFORMED BY THE CONTRACTOR USING SLIP RESISTANT WHITE TRAFFIC MARKING PAINT UNLESS NOTED OTHERWISE BELOW. PAINT SHALL BE APPLIED IN TWO COATS AND IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
2. ITEMS REQUIRING SLIP RESISTANT WHITE PAINT INCLUDE: PARKING STALLS, DIRECTIONAL ARROWS, STOP BARS, LOADING AREA, ALL STRIPED ISLANDS ADJACENT TO HANDICAP PARKING SPACES AND CROSS WALKS.
3. ITEMS REQUIRING SLIP RESISTANT YELLOW PAINT INCLUDE STEEL PIPE BASE OF HANDICAP PARKING SIGNS AND FIRE LANE CURB.
4. ITEMS REQUIRING SLIP RESISTANT BLUE PAINT INCLUDE HANDICAP PARKING STALLS AND SYMBOLS.

NOTE:
INFORMATION REGARDING THE REPUTABLE SOURCE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES WAS OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE DRAWINGS SUPPLIED BY THE OWNER AND IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTICE OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD TO CONCLUDE THAT THE INFORMATION IS NOT COMPLETE. BUT UTILITIES AND STRUCTURES NOT SHOWN MAY BE PRESENT. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS AGENTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT COX AND DINKINS, INC. IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE UNDERGROUND INFORMATION INFORMATION WITH RESPECT TO ABOVE GROUND MONUMENTS OF SUCH UTILITIES IS BASED UPON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS, AND IS SHOWN HEREON.

The Palmetto Utility Protection Service, Inc.
811 South Carolina 811
3 DAYS BEFORE DIGGING IN SOUTH CAROLINA
CALL 811
CONTRACTOR SHALL CONTACT THE UNDERGROUND LOCATORS EVERY 10 DAYS FOR AN UPDATE TO UTILITY LOCATIONS

COX AND DINKINS
ENGINEERS & SURVEYORS
AND DINKINS, INC.
SHELBY LINE BLVD.
COLUMBIA, SC 29205
803-254-0518
Fax: 803-765-0993
Email: cdinc@coxanddinkins.com

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
NO. 14890
W. HOLMES
REGISTERED PROFESSIONAL ENGINEER
NO. 14893

SOUTH CAROLINA
COX AND DINKINS, INC.
No. C00294
CERTIFICATE OF AUTHORIZATION

CERTIFICATE OF AUTHORIZATION SEAL

NO.	DATE	DESCRIPTION
1	3/22/2017	Revised to add additional sheets
2	4/19/2017	Revised Per Public & Utility company comments
3	7/7/2017	Revised Water and Sanitary Sewer
4	8/6/2017	Revised building footprint
5	8/1/2017	Bid Set

DEVELOPER:
Mr. Tom Murray
WindCrest Development Group
605 East Robinson St. Suite 340
Orlando, Florida 32751
(P) 407.219.3540
(F) 407.219.3541
tmurray@WINDCREST.COM

BID SET
PROJECT:
Publix
South Lake Drive & Platt Springs Road
LOCATED NEAR RED BANK
LEXINGTON COUNTY, SOUTH CAROLINA
SITE PLAN

TMS 007600-02-005, 006, 013, 084, 095, 116
BOOK N/A SF NO. 245-19A
PROJECT NO. 1920 SHEET NO. C7
DATE 3/15/2017 8 of 48