

INFORMATION NOTICE #72

THE UNDERSIGNED CONSULTING FIRM AGREES THAT THE CITY OF VIRGINIA BEACH AND ITS REPRESENTATIVES SHALL HAVE THE RIGHT TO USE THESE PLANS TO COMPLETE ANY PHYSICAL IMPROVEMENTS THE CITY DEEMS NECESSARY IN THE EVENT THE DEVELOPER DEFAULTS IN HIS/HER OBLIGATIONS TO COMPLETE THESE FACILITIES AS REQUIRED BY CITY CODE. THE UNDERSIGNED DESIGN PROFESSIONAL ALSO AGREES THAT THE CITY MAY USE THESE PLANS FOR ANY PURPOSE THE CITY FEELS NECESSARY IN ORDER TO COMPLETE THE PROJECT. THE DESIGN PROFESSIONAL CONSULTING FIRM FURTHER AGREES THAT THE RIGHTS TO USE THESE PLANS SHALL BE PROVIDED WITHOUT COST TO THE CITY.

NAME OF ENTITY (CONSULTING FIRM): KIMLEY-HORN AND ASSOCIATES, INC.

BY: MARK R. BOYD, P.E. TITLE: PROJECT MANAGER
(AUTHORIZED SIGNATURE)

SIGNATURE OF DESIGN PROFESSIONAL: [Signature] DATE: 02/08/2017

INFORMATION NOTICE #48

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL LAND CLEARING, CONSTRUCTION, DEVELOPMENT ACTIVITY AND DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.

NAME OF ENTITY (CONSULTING FIRM): KIMLEY-HORN AND ASSOCIATES, INC.

BY: MARK R. BOYD, P.E. TITLE: PROJECT MANAGER
(AUTHORIZED SIGNATURE)

SIGNATURE OF DESIGN PROFESSIONAL: [Signature] DATE: 02/08/2017

PROJECT CONTACT LIST

PLANNING

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VIRGINIA BEACH, VA 23456
TEL: (757) 385-5681
CONTACT: RON FRINK

STORMWATER

VIRGINIA BEACH DEPT. OF PLANNING/DSC ENGINEERING
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VIRGINIA BEACH, VA 23456
TEL: (757) 385-4359
CONTACT: EDWIN FABILA

PUBLIC UTILITIES

VIRGINIA BEACH DEPT. OF PLANNING/DSC UTILITIES
2405 COURTHOUSE DR., BLDG. 2
VIRGINIA BEACH, VA 23456
TEL: (757) 385-4056
CONTACT: RICH CORPUS

FIRE MARSHAL

VIRGINIA BEACH FIRE DEPT.
2408 COURTHOUSE DR., BLDG. 21
VIRGINIA BEACH, VA 23456
TEL: (757) 385-1091
CONTACT: DEIDRA PETERSON

NATURAL GAS

VIRGINIA NATURAL GAS
544 S. INDEPENDENCE BLVD.
CHESAPEAKE, VA 23452
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CONTACT: VICTORIA M. DUFFER

ELECTRIC

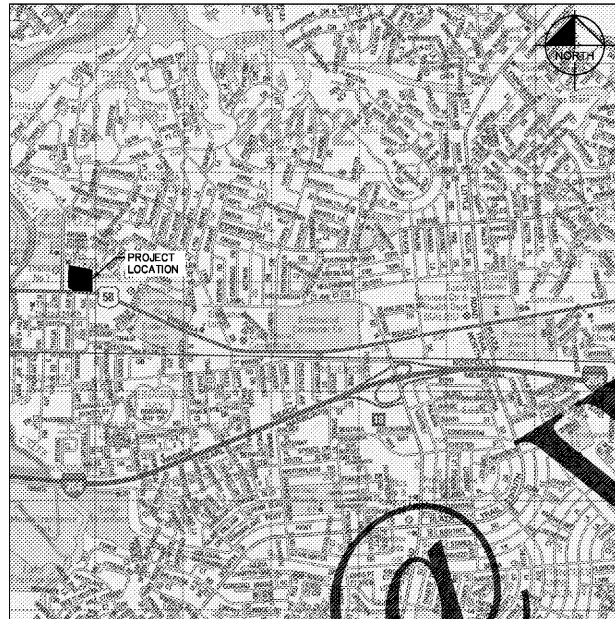
DOMINION VIRGINIA POWER
4901 PRINCESS ANNE ROAD
VIRGINIA BEACH, VA 23462
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NORFOLK, VA 23513
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CONTACT: STEW STROTHERS

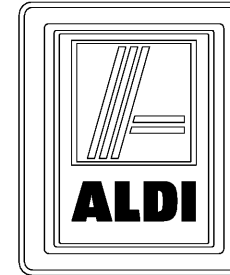
VICINITY MAP

APPROX. SCALE: 1" = 2,000
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CIVIL CONSTRUCTION PLANS FOR

ALDI INC.
AT WILLIS WAYSIDE



VIRGINIA BEACH BOULEVARD
VIRGINIA BEACH, VA 23454

GPIN #14779537690000

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NOTES

- THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" OF THE FEMA DEFINED HAZARD AREA AS SHOWN ON COMMUNITY DEVELOPMENT PLAN NUMBER 855310103G AND 5155310101G DATED 1-16-2015.
- THE VERTICAL DATUM OF THE SURVEY IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE VERTICAL DATUM IS BASED ON CITY OF VIRGINIA BEACH CONTROL MONUMENT 891902 ELEV. 15.34' NAVD88. CONTOUR INTERVAL = 1 FOOT.
- THE MERIDIAN SOURCE OF THE SURVEY IS BASED ON VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983.
- AFTER OBTAINING THE LAND DISTURBING PERMIT AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY, THE CONTRACTOR SHALL CONTACT PLANNING/CIVIL INSPECTIONS AT 757-385-4558 TO SCHEDULE A PRE-CONSTRUCTION MEETING. FAILURE TO CONTACT PLANNING/CIVIL INSPECTIONS PRIOR TO ANY LAND DISTURBING ACTIVITY MAY RESULT IN A STOP WORK ORDER OR OTHER LEGAL ACTION.
- ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A SEDIMENT CONTROLLED DISPOSAL AREA.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- NO CITY REFUSE COLLECTION WILL BE PROVIDED TO THIS SITE.
- THE PROPERTY DOES NOT FALL WITHIN AIRCRAFT ACCIDENT POTENTIAL ZONES, CLEAR ZONES, OR NOISE ZONES. THE PROPERTY WILL NOT BE SUBJECT TO THE AIRPORT NOISE ATTENUATION AND SAFETY ORDINANCE OR HEIGHT RESTRICTIONS IN ACCORDANCE WITH SECTION 202(B) OF THE CITY ZONING ORDINANCE.
- ALL PIPE JOINTS AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER, ASTM, AND VDOT PROVISIONS, SPECIFICATIONS, AND STANDARDS SO AS TO BE SOIL TIGHT AND LEAK RESISTANT (SEE PWSSM SECTION 2.2.2).
- CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION TO ALL OWNERS AND RESIDENTS TO THE ADJACENT PROPERTY TO A DEVELOPMENT OR OFF-SITE IMPROVEMENTS 30 DAYS PRIOR TO THE COMMENCEMENT OF WORK UNLESS OTHERWISE DIRECTED BY THE CITY.
- CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES CONSTRUCTION REPRESENTATIVE SEVEN (7) CALENDAR DAYS PRIOR TO ANY NIGHT TIME SHUTDOWN OF THE WATER MAIN.
- NO JOINT PERMIT APPLICATION IS REQUIRED FOR THIS PROPERTY.
- CONTRACTOR SHALL COORDINATE THE HAUL ROUTE WITH THE CITY OF VIRGINIA BEACH'S CIVIL INSPECTOR. BE ADVISED HAUL ROUTES MUST BE IDENTIFIED FOR THE REMOVAL OF MATERIAL IN EXCESS OF 335 C.Y. PROVIDE THE QUANTITY, TRUCK CAPACITY, NUMBER OF TRIPS AND ROUTE TO THE LEGAL DISPOSAL SITE.
- CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITY COMPANIES, INCLUDING BUT NOT LIMITED TO COX AND DOMINION TO AVOID CONSTRUCTION CONFLICTS OR DELAYS.
- THE CERTIFYING DESIGN PROFESSIONAL IS RESPONSIBLE AND LIABLE FOR THE DESIGN AND THE CONTENTS OF THIS APPROVED PLAN.
- THE MINIMUM FLOOR ELEVATION, IN ACCORDANCE WITH THE CITY SITE PLAN ORDINANCE, FLOOD PLAIN REGULATIONS IS A MINIMUM OF TWO FEET ABOVE THE 100-YEAR FLOOD PLAIN AS ESTABLISHED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)

UTILITY DEMANDS

	PRE-DEVELOPMENT			POST-DEVELOPMENT			
	EXISTING WILLIS FURNITURE	EXISTING RETAIL	TOTAL	PROPOSED WILLIS FURNITURE	EXISTING RETAIL	PROPOSED ALD:	TOTAL
PEAK SEWER DEMAND (PER VDH)	94.26 GPM	26.19 GPM	120.45 GPM	67.45 GPM	26.19 GPM	19.85 GPM	113.49 GPM
DAILY SEWER FLOW (PER VDH)	27,148 GPD	9,583 GPD	36,731 GPD	19,425 GPD	9,583 GPD	5,716 GPD	34,724 GPD
AVERAGE SEWER FLOW (PER VDH)	37.71 GPM	10.48 GPM	48.19 GPM	26.98 GPM	10.48 GPM	7.94 GPM	45.40 GPM
PEAK SEWER DEMAND (PER VA BEACH PUJ)	27.26 GPM	10.64 GPM	37.90 GPM	17.61 GPM	10.64 GPM	7.15 GPM	35.40 GPM
DAILY SEWER FLOW (PER VA BEACH PUJ)	8,544 GPD	3,263 GPD	11,807 GPD	6,228 GPD	3,263 GPD	1,715 GPD	11,206 GPD
AVERAGE SEWER FLOW (PER VA BEACH PUJ)	9.09 GPM	3.55 GPM	12.64 GPM	5.87 GPM	3.55 GPM	2.38 GPM	11.80 GPM
PEAK WATER DEMAND (PER ALDI)	-	-	-	-	-	147 GPD	147 GPD
PEAK WATER DEMAND (PER AWWA)	-	-	-	-	-	44 GPM	44 GPM
AWWA FIXTURE UNITS	201		201		201	50	261
IRRIGATION DEMAND	EXISTING SYSTEM TO REMAIN IN PLACE			EXISTING SYSTEM TO REMAIN IN PLACE			
FIRE FLOW (ISO CALCULATIONS)	1,500 GPM		1,500 GPM	1,500 GPM		1,000 GPM	1,000 GPM
FIRE SPRINKLER DEMAND	-	-	-	-	-	550 GPM	550 GPM
DFU COUNT (PER CITY OF VA BEACH COMPUTATION SHEET)	-	-	-	-	-	20	20
ERU'S IMPERVIOUS AREA/2269 SF PER ERU)	77.2			68.8			

Refer to Design Narrative Appendix I for supporting calculations.
Refer to Willis Wayside plans by VHB dated June 6, 2006 for Existing Utility Demands.

A VSMP GENERAL CONSTRUCTION PERMIT IS REQUIRED FROM THE CITY OF VIRGINIA BEACH FOR THIS SITE. THE CITY OF VIRGINIA BEACH WILL RECEIVE THE REGISTRATION STATEMENT AND FEES AS WELL AS PERFORM COMPLIANCE INSPECTIONS.

ERU ADJUSTMENT	ADJUSTED ERU
EXISTING ERU	=77.2
ADJUSTMENT	=-86 (195,149 SQ. FT./2,269 SQ. FT.)
ADJUSTED ERU	=-17.2 (86%*20%)
ADJUSTED ERU	=68.8

ON THE COMPLETE AND APPROVED PAPER COPY OF THE PLAN SET. ALL SUBSEQUENT REVISIONS WILL SERVE AS THE OFFICIAL CONSTRUCTION PLANS.

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

PROJECT DATA

PROJECT ID: 14779537690000
 SITE ADDRESS: 4220 VIRGINIA BEACH BOULEVARD
 ZONING: B-2
 OWNER: WILLIS REALTY CORPORATION
 4220 VIRGINIA BEACH BOULEVARD
 VIRGINIA BEACH, VIRGINIA 23454
 EXISTING USE: RETAIL, WAREHOUSE
 PROPOSED USE: GROCERY STORE, RETAIL, WAREHOUSE
 PROPOSED BUILDING SIZE: 19,054 SF (19,787 SF INCLUDING CANOPY)
 BUILDING HEIGHT: 28' 0" (TO TOP OF TOWER)
 FLOOD ZONE: THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MAP COMMUNITY - PANEL NUMBER 5155310103G, 5155310101G
 EFFECTIVE DATE: JANUARY 16, 2015
 WATER: CITY
 SEWER: CITY
 SOURCE OF TOPOGRAPHY: TOPOGRAPHIC SURVEY WAS PERFORMED BY MID ATLANTIC SURVEY IN NOVEMBER 2016 AND BY WPL IN DECEMBER 2016.
 DATUM: HORIZONTAL CONTROL BASED UPON VIRGINIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 1983
 VERTICAL DATUM IS BASED ON NAVD 1988
 LATITUDE: 36°50'39"N
 LONGITUDE: 76°07'12"W
 RECEIVING WATER(S): LYNNHAVEN RIVER
 WATERSHED: CHESAPEAKE BAY
 VAHUG CODE: CB25
 STORMWATER CRITERIA: II-C AND II-B

BUILDING 1 (WILLIS BUILDING AREA): 64,750 SF
 BUILDING 2 (ALDI BUILDING AREA): 19,054 SF
 BUILDING HEIGHT: 28' 0" (TO TOP OF TOWER)
 BUILDING 3 (EXISTING RETAIL AREA): 10,224 SF
 BUILDING AND PARKING SETBACKS
 FRONT: 35'
 SIDE (ADJACENT TO STREET): 35'
 REAR: 0'
 PARKING REQUIREMENTS
 SHARED PARKING BETWEEN GPIN 14779537690000 AND 14779555730000. SEE M.B. 277 P.G. 17
 EXISTING SPACES: 251 SPACES
 ZONING ORDINANCE: 1 SPACE PER 250 SF OF GFA (RETAIL)
 1 SPACE PER 300 SF OF GFA (WAREHOUSE/STORAGE)
 TOTAL PARKING REQUIRED: 283 SPACES
 BUILDING 1: 72 SPACES
 BUILDING 2: 76 SPACES
 BUILDING 3: 41 SPACES
 BUILDING 4 (EXISTING RETAIL AREA): 87 SPACES
 BUILDING 5 (EXISTING STORAGE): 7 SPACES
 PARKING PROVIDED: 284 SPACES
 HANDICAP SPACES REQUIRED: 7 SPACES
 HANDICAP SPACES PROVIDED: 7 SPACES (2 VAN ACCESSIBLE)
 LOADING SPACE REQUIRED: 1
 LOADING SPACE PROVIDED: 1
 BIKE PARKING REQUIRED: 11
 BIKE PARKING PROVIDED: 12
 SOLIS
 MAP UNIT & NAME: 1 - ACREDALE SILT LOAM
 8 - CHAPANOKE SILT LOAM
 42 - URBAN LAND

SIGNATURE BLOCK FOR CITY USE



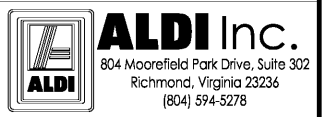
Issued:	Date:
A BID SET	08/23/17
B	
C	
D	
Revisions:	Date:
1 ADDRESS CITY COMMENTS	05/11/2017
2 ADDRESS CITY COMMENTS	07/11/2017
3	
4	
5	



Seal	DATE
PROJECT ARCHITECT/ENGINEER	
PROJECT LEAD	
PROJECT DESIGNER	

Kimley»Horn
 Kimley-Horn and Associates, Inc.

1700 Willow Lawn Drive, Suite 200
 Richmond, Virginia 23230
 (804) 673-3882



ALDI Inc.
 Virginia Beach Blvd & Thalia Road
 Virginia Beach, VA
 Project Name & Location:

COVER SHEET

Drawing Name:	Project No.
Date: 02/08/17	113180024
Type:	
Drawn By: SMP	CA-001
Scale: As Noted	Drawing No.

DSC FILE #F07-004902-SP



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