

LEGEND

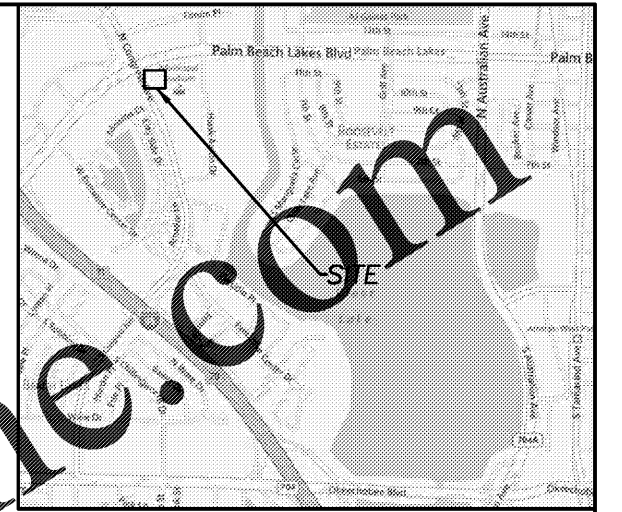
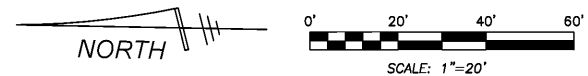
- A = ARC LENGTH
- A/C = AIR CONDITIONING
- A.E. = ACCESS EASEMENT
- A.K.A. = ALSO KNOWN AS
- B.F.P. = BACKFLOW PREVENTER
- BLDG. = BUILDING
- B.M. = BENCHMARK
- B.O.C. = BACK OF CURB
- B.O.W. = BACK OF WALK
- (C) = CALCULATED
- CATV = CABLE ANTENNA TELEVISION
- C.B. = CHORD BEARING
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
- CH = CHORD
- C.L.F. = CHAIN LINK FENCE
- CLR. = CLEAR
- C.M.P. = CORRUGATED METAL PIPE
- CONC. = CONCRETE
- (D) = DESCRIPTION DATUM
- D.B. = DEED BOOK
- D.E. = DRAINAGE EASEMENT
- D.H. = DRILL HOLE
- D.W. = DRIVEWAY
- EL. = ELEVATION
- ENC. = ENCROACHMENT
- E.O.P. = EDGE OF PAVEMENT
- E.O.W. = EDGE OF WATER
- ESMT = EASEMENT
- F.F. = FINISH FLOOR
- FND. = FOUND
- F.O.C. = FACE OF CURB
- I.D. = INSIDE DIAMETER
- INV. = INVERT
- I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
- L.A.E. = LIMITED ACCESS EASEMENT
- LB. = LICENSE BOARD
- L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
- (M) = FIELD MEASUREMENT
- M.H. = MANHOLE
- M.H.W.L. = MEAN HIGH WATER LINE
- M.L.W.L. = MEAN LOW WATER LINE
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
- N.T.S. = NOT TO SCALE
- O.A. = OVERALL
- O.D. = OUTSIDE DIAMETER
- O.H. = OVERHEAD UTILITY LINE
- O.R.B. = OFFICIAL RECORD BOOK
- O/S. = OFFSET
- (P) = PLAT DATUM
- P.B. = PLAT BOOK
- P.B.C. = PALM BEACH COUNTY
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- PG. = PAGE
- P.I. = POINT OF INTERSECTION
- P/O. = PART OF
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- PROP. = PROPOSED
- P.T. = POINT OF TANGENCY
- P.V.M.T. = PAVEMENT
- (R) = RADIAL
- R. = RADIUS
- RGE. = RANGE
- R.P.B. = ROAD PLAT BOOK
- R/W. = RIGHT OF WAY
- (S) = SURVEY DATUM
- S.B. = SETBACK
- SEC. = SECTION
- SID. = SUBDIVISION
- S.F. = SQUARE FEET
- S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
- S.R. = STATE ROAD
- STA. = STATION
- STY. = STORY
- SW. = SIDEWALK
- T.O.B. = TOP OF BANK
- T.O.C. = TOP OF CURB
- TWP. = TOWNSHIP
- TYP. = TYPICAL
- U.C. = UNDER CONSTRUCTION
- U.E. = UTILITY EASEMENT
- U.R. = UNRECORDED
- W.C. = WITNESS CORNER
- W.M.E. = WATER MANAGEMENT EASEMENT
- W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
- W.M.T. = WATER MANAGEMENT TRACT
- W. = BASELINE
- W. = CENTERLINE
- W. = CENTRAL ANGLE/Delta
- W. = CONCRETE MONUMENT FOUND (AS NOTED)
- W. = CONCRETE MONUMENT SET (LB #4569)
- W. = ROD & CAP FOUND (AS NOTED)
- W. = 5/8" ROD & CAP SET (LB #4569)
- W. = IRON PIPE FOUND (AS NOTED)
- W. = IRON ROD FOUND (AS NOTED)
- W. = NAIL FOUND
- W. = NAIL FOUND (AS NOTED)
- W. = MAG NAIL & DISK (LB #4569)
- W. = PROPERTY LINE
- W. = UTILITY POLE
- W. = FIRE HYDRANT
- W. = WATER METER
- W. = WATER VALVE
- W. = LIGHT POLE
- W. = PINE TREE
- W. = SABAL PALM

**Boundary Survey For:
TRICOR INTERNATIONAL CORPORATION**

This survey is made specifically and only for the following party for the purpose of submittal on the surveyed property.

Tricor International Corporation

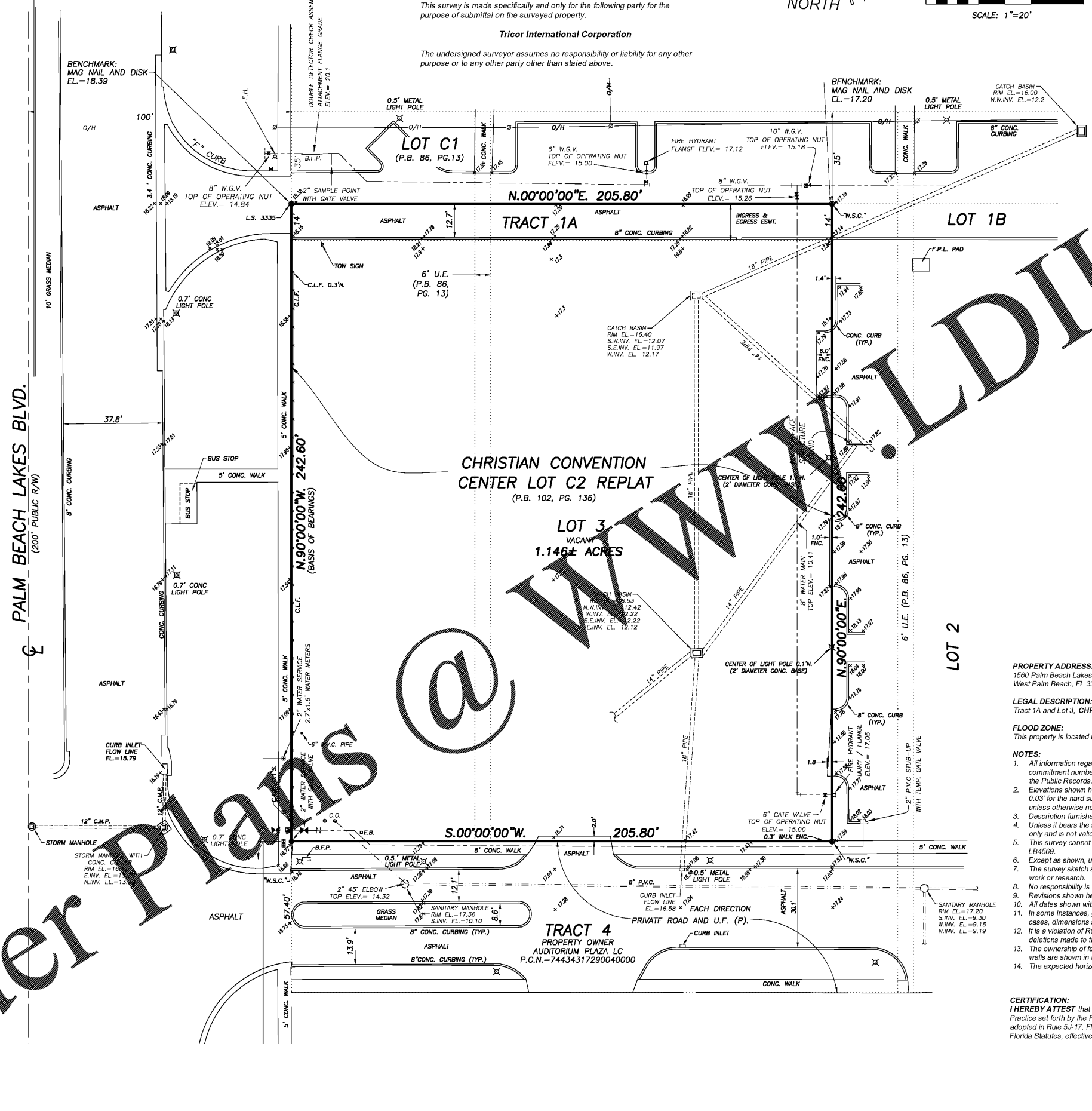
The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.



VICINITY SKETCH N.T.S.

PALM BEACH LAKES BLVD.
(200' PUBLIC R/W)

Order Plans @



TITLE COMMITMENT REVIEW						
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1 TO 8	N/A	Standard Exceptions				
9	GRB 739, PG 245	Standard Exceptions				
10	GRB 10517, PG 489	Declaration of Covenants				
11	GRB 11407, PG 1378	Reciprocal Easement and Operation Agreement				
12a	GRB 11937, PG 1054	Declaration of Covenants, Conditions, Easements and Restrictions				
12b	GRB 10762, PG 1836	Amendment				
12c	GRB 18758, PG 314	Amendment				
12d	GRB 18665, PG 1513	Amendment				
13a	GRB 11807, PG 1140	Surface Water Management Maintenance Agreement (Blanket)				
13b	GRB 12102, PG 788	Amendment				
14a	PS 102 PG 136 AND 137	Plat of CHRISTIAN CONVENTION CENTER LOT C2 REPLAT				
14b	PS 86 PG 13	Plat of CHRISTIAN CONVENTION CENTER PLAT				
14c	PS 102 PG 139	Easement in favor of Florida Flower & Light as depicted on Lot 3, CHRISTIAN CONVENTION CENTER LOT C2 REPLAT (We do not see a FPL Utility Easement in Lot 3)				
15a	GRB 18786, PG 518	Cost Sharing Agreement				
15b	GRB 18781, PG 1378	Amendment				
16	N/A	Standard Exceptions				

PROPERTY ADDRESS:
1560 Palm Beach Lakes Blvd.
West Palm Beach, FL 33401

LEGAL DESCRIPTION: CHRISTIAN CONVENTION CENTER LOT C2 REPLAT, as recorded in Plat Book 102, Page 136, Public Records of Palm Beach County, Florida.

FLOOD ZONE: This property is located in Flood Zone B, according to F.I.R.M. (Flood Insurance Rate Map) No. 120229 0015 B, dated March 1, 1979.

- NOTES:**
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 5011612-2021-3441533, issued by First American Title Insurance Company, dated September 16, 2016. This office has made no search of the Public Records.
 - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NGVD-29. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless it bears the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
 - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 10/25/2016

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

BOUNDARY SURVEY FOR:		
TRICOR INTERNATIONAL CORPORATION		
WALLACE SURVEYING CORP.		
FIELD: S.W.	JOB NO.: 01-1346.14	F.B. WP149 PG. 3
OFFICE: N.I.	DATE: 10/25/2016	DWG. NO. 01-1346-10
CK'D: C.W.	REF: 01-1346-8.DWG	SHEET 1 OF 1