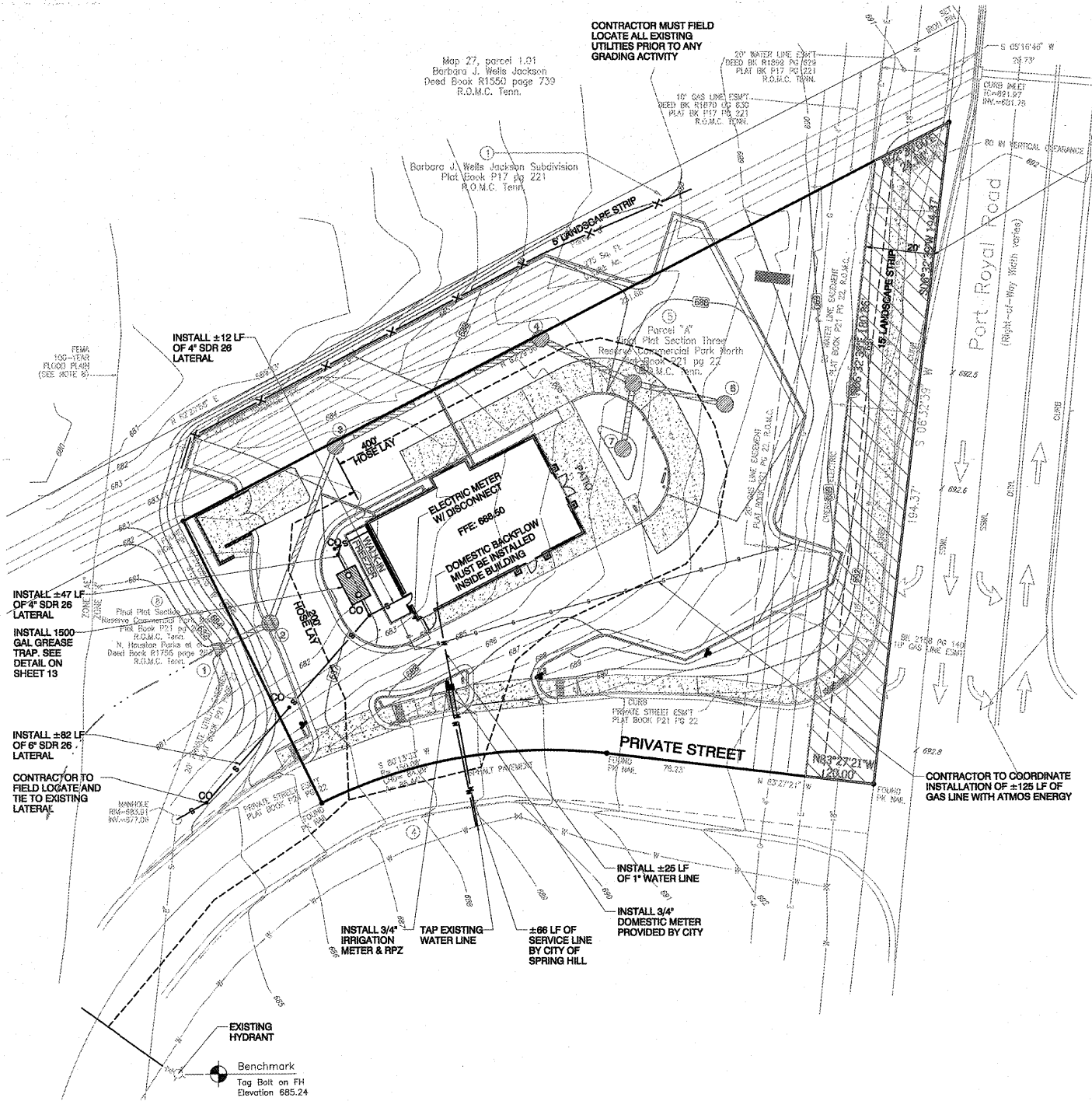


GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS.
 2. THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 10 FT IN WIDTH ON FRONT AND REAR PROPERTY LINES AND ON ALL PROPERTY LINES PARALLEL TO OR ABUTTING ROADS, AND THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 5 FT IN WIDTH ON ALL OTHER INTERIOR LOT LINES, EXCEPT AS OTHERWISE SHOWN.
 3. TEMPORARY INLET FILTERS SHALL BE INSTALLED IN ALL EXISTING CATCH BASINS IN AREA PRIOR TO EARTH DISRUPTION.
 4. EXISTING UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 5 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT TENNESSEE ONE CALL AT 811 OR 1-800-351-1111 THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 5. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND ANY UNDERGROUND ELECTRIC LINES DO NOT INTERFERE WITH SEWER LINES OR STORM SEWERS. INSTALL ALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
 6. BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH CRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL.
 7. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.
 8. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITIES. THE UTILITY COMPANY SHALL BE CONTACTED UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES THROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THESE UNDERGROUND CABLES AND/OR LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.
 9. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
 10. THE CONTRACTOR SHALL REPAIR ANY CONTRACTOR CAUSED DAMAGE, ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL ALSO COORDINATE ALL CONSTRUCTION TO MAINTAIN REQUIRED SERVICES TO THE EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).
 11. THE CONTRACTOR IS SPECIFICALLY CAUTIONED ABOUT THE LOCATION AND/OR ELEVATIONS OF THE EXISTING UTILITIES SHOWN ON THIS DRAWING. THEY ARE BASED UPON RECORDS FROM VARIOUS UTILITY COMPANIES, DEEDS AND PLATS OF RECORD, AND WHERE POSSIBLE, ACTUAL FIELD MEASUREMENTS. THIS INFORMATION IS NOT TO BE TAKEN AS EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE UTILITIES PROTECTION CENTER AND THE APPROPRIATE UTILITY COMPANIES AT LEAST 24 HOURS PRIOR TO ANY EXCAVATION TO REQUEST THE EXACT FIELD LOCATIONS OF RESPECTIVE UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT LOCATION OF THE EXISTING UTILITIES WHICH MAY CONFLICT WITH PROPOSED IMPROVEMENTS. UPC # 1-800-282-7411
 12. CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY FOR PROVIDING TEMPORARY SERVICE FOR CONSTRUCTION FACILITIES DURING CONSTRUCTION.
 13. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION OF ALL UTILITY SERVICE CONNECTIONS.
 14. SIZE OF WATER METER AND DOMESTIC WATER SERVICE LINE SHALL BE VERIFIED BY PLUMBING ENGINEER PRIOR TO INSTALLATION.
- PAVING NOTES:**
1. PROPOSED ASPHALT PAVEMENT CROSS-SECTION TO CONFORM TO CITY OF SPRING HILL STANDARDS. REFERENCE DETAIL PROVIDED.
 2. ALL CURVE RADII ARE TO BACK OF CURB UNLESS NOTED OTHERWISE.
 3. SURFACES TO RECEIVE MARKING PAINT SHALL BE CLEAN, DRY AND METAL SURFACES ARE TO BE FREE FROM HEAVY RUST.
 4. YELLOW CURBING AND BOLLARDS ARE TO RECEIVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYL ENAMEL SAFETY YELLOW B55Y300. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
 5. 4" WIDE TRANSVERSE PAVEMENT MARKING TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT, YELLOW T488S. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
 6. ACCESSIBLE SPACES TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE.
- SANITARY SEWER LEAD NOTES:**
1. MAINTAIN A MINIMUM OF 16" VERTICAL CLEARANCE, AND 10" HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES.
 2. ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LEADS SHALL BE IN STRICT COMPLIANCE WITH CURRENT CITY OF SPRING HILL WWTP STANDARDS.
 3. SEWER SERVICE LEADS ARE TO BE EXTENDED TO A POINT 5-FT. OUTSIDE THE BUILDING WHERE THE PLUMBING CONTRACTOR WILL COMPLETE THE CONNECTION TO THE BUILDING PLUMBING SYSTEM.
 4. ALL SANITARY SEWER LEADS WITHIN A 1:1 INFLUENCE OF EXISTING, PROPOSED, OR FUTURE PAVEMENT SHALL HAVE CONFLICTED SAND BACKFILL.
 5. NO CONNECTION TO THE EXISTING SANITARY SEWER SYSTEM WILL BE PERMITTED UNTIL THE PROPOSED WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE CITY OF SPRING HILL WWTP REGULATIONS.
- ELECTRICAL CONDUIT NOTES:**
1. ALL BUILDERS, CONTRACTORS, AND ELECTRICIANS MUST MEET WITH CITY OF SPRING HILL POWER & WATER SERVICE BEFORE CONSTRUCTION.
 2. ALL ELECTRICAL CONNECTIONS AND FACILITIES TO CONFORM TO CURRENT SPRING HILL POWER & WATER SERVICE STANDARDS.

- LEGEND**
- POB POINT OF BEGINNING
 - IPS IRON PIN SET
 - IPF IRON PIN FOUND
 - CMF CONCRETE MONUMENT FOUND
 - UP UTILITY POLE
 - LP LIGHT POLE
 - FP FLAG POLE
 - SMH SANITARY SEWER MANHOLE
 - SDM STORM DRAIN MANHOLE
 - DI DROP INLET
 - INVERT
 - FH FIRE HYDRANT
 - EP EDGE OF PAVEMENT
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - OU OVERHEAD UTILITY
 - UE UNDERGROUND UTILITY
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - GUY WIRE ANCHOR
 - TR TRANSFORMER
 - JB JUNCTION BOX
 - SWCB SINGLE WING CATCH BASIN
 - DWCB DOUBLE WING CATCH BASIN
 - CLF CHAIN LINK FENCE
 - WV WATER VALVE
 - WM WATER METER
 - CO SEWER CLEAN-OUT
 - GV GAS VALVE



SITE INFORMATION

DEVELOPER:
 SHULER DEVELOPMENT, LLC.
 6400 POWERS FERRY RD, SUITE 350
 ATLANTA, GA 30359
 770-303-8200

OWNER:
 SCD SPRING HILL, LLC.
 6400 POWERS FERRY RD, SUITE 350
 ATLANTA, GA 30359
 770-303-8200

ENGINEER:
 LAND ENGINEERING AND DEVELOPMENT
 374 RACETRACK RD, SUITE B
 MCDONOUGH, GA 30252
 P:878-452-5720 F:878-452-5463

LANDSCAPE ARCHITECT:
 BECKY MORRIS
 7960 HWY 54
 SHARPSBURG, GA 30277
 P:770-251-1033 F:770-254-9380

SITE ADDRESS: 4885 PORT ROYAL ROAD, SPRING HILL, TN
 TAX PARCEL ID: A: MAP 027, 30.06; B: MAP 027, 01.02
 SITE AREA: A: 0.591; B: 0.328 ACRES
 SITE ZONING: B-4 (CBD)
 SETBACKS: FRONT = 10'
 SIDE = 0'
 REAR = 25'
 LANDSCAPE STRIP: FRONT = 10'
 SIDE = 0'
 REAR = 25'
 IMPERVIOUS AREA: EXISTING: 0.079 ACRES (8.6%)
 NEW: 0.510 ACRES (55.5%)
 TOTAL: 0.589 ACRES (64.1%)

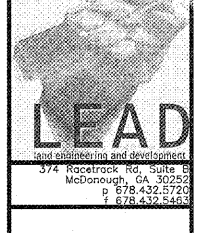
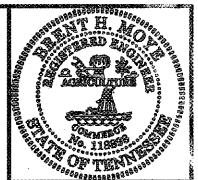
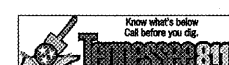
SEWER LINE INFORMATION

1. LENGTH OF 4" SDR 26 DOMESTIC = ±47 LF
2. LENGTH OF 6" SDR 26 DOMESTIC = ±82 LF

WATER LINE INFORMATION

1. LENGTH OF 1" DOMESTIC WATER LINE = ±25 LF

24-HR CONTACT
 ALLEN CURTIS
 770-303-8200



Utility Plan Prepared For:
DUNKIN' DONUTS

Developer:
SHULER DEVELOPMENT, LLC.
 6400 POWERS FERRY RD
 SUITE 350
 ATLANTA, GA 30359
 770-303-8200

DATE	RELEASE DESCRIPTION
08-18-17	REVISED PER STAFF COMMENTS (08-18-17)
07-08-17	REVISED PER WORK DESIGN COMMENTS (08-08-17)
07-07-17	REVISED PER CITY COMMENT
07-11-17	REVISED PER PLANNING COMMISSION COMMENTS

DATE: JUNE 11, 2017
 THIRD CIVIL DISTRICT
 A: Map 027, 30.06
 B: Map 027, 01.02
 CITY: SPRING HILL
 COUNTY: MAURY
 STATE: TENNESSEE
 JOB NUMBER:
 2016.095