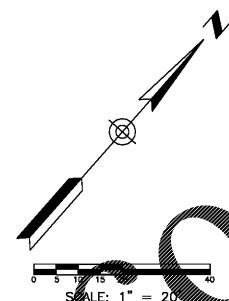


CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	252.91'	395.00'	36°41'05"	130.96'	248.61'	N 73°37'04" E

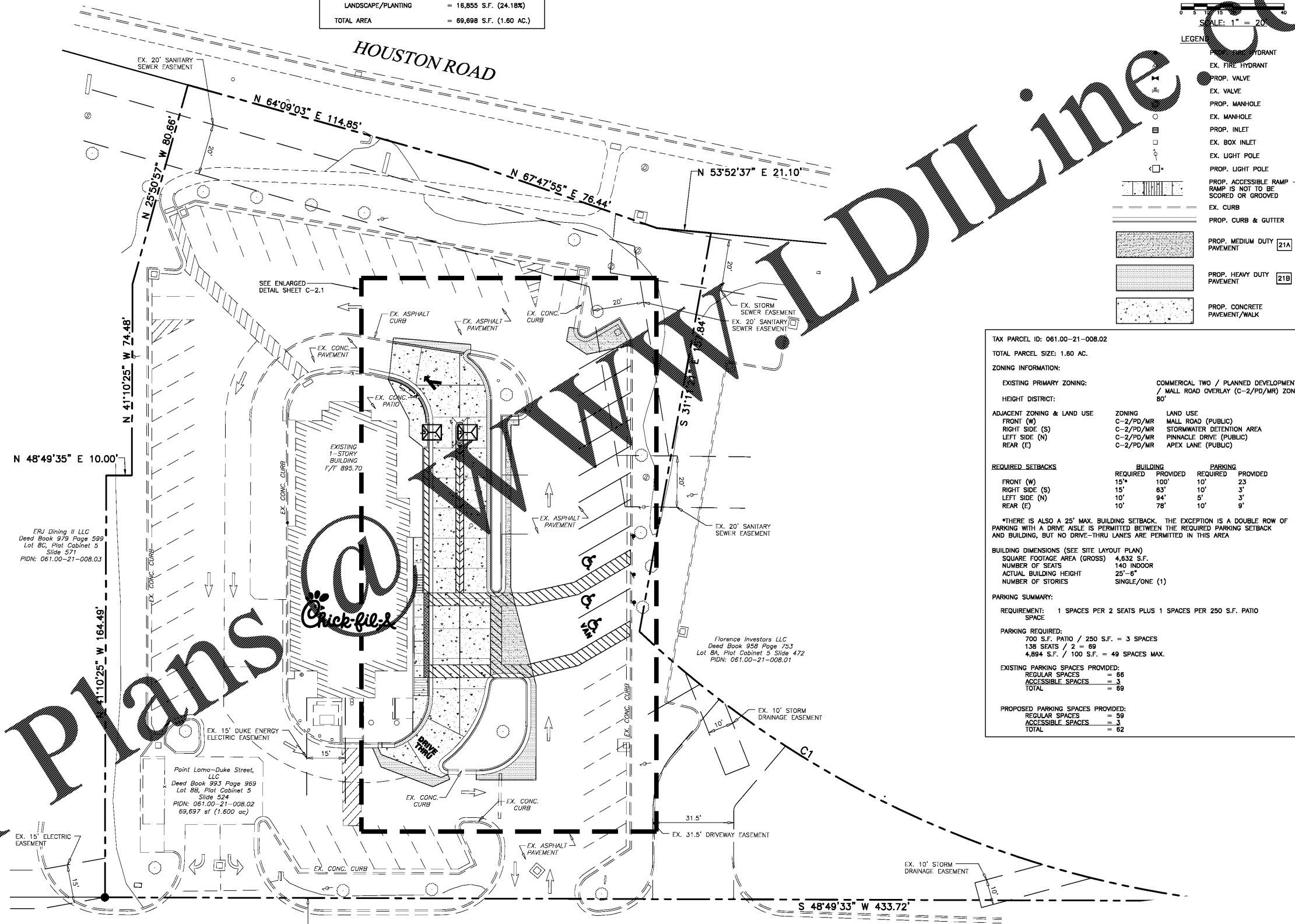
FLOOD ZONE DESIGNATION: A REVIEW OF FLOOD INSURANCE RATE MAP (FIRM) NUMBER 2101500120C, DATED JUNE 4, 2007, INDICATES THAT THE SUBJECT PROPERTY IS LOCATED IN ZONE X (AREAS OF MINIMAL FLOODING) AND DOES NOT APPEAR TO BE IN ANY SPECIAL FLOOD HAZARD AREA.

EXISTING AREA TABULATION	
IMPERVIOUS AREA	
BUILDINGS	= 4,632 S.F.
ASPHALT PAVEMENT	= 28,098 S.F.
CONCRETE PAVEMENT	= 20,108 S.F.
SUBTOTAL	= 52,838 S.F. (75.81%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 16,860 S.F. (24.19%)
TOTAL AREA	= 69,698 S.F. (1.60 AC.)
NEW DEVELOPMENT AREA TABULATION	
IMPERVIOUS AREA	
BUILDINGS	= 4,632 S.F.
ASPHALT PAVEMENT	= 26,982 S.F.
CONCRETE PAVEMENT	= 21,229 S.F.
SUBTOTAL	= 52,843 S.F. (75.82%)
PERVIOUS AREA	
LANDSCAPE/PLANTING	= 16,855 S.F. (24.18%)
TOTAL AREA	= 69,698 S.F. (1.60 AC.)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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565 White Pond Dr.
Akron, OH 44320-1123
Phone 330-836-0228
Fax 330-836-5792



TAX PARCEL ID: 061.00-21-008.02
TOTAL PARCEL SIZE: 1.60 AC.

ZONING INFORMATION:
EXISTING PRIMARY ZONING: COMMERCIAL TWO / PLANNED DEVELOPMENT / MALL ROAD OVERLAY (C-2/PD/MR) ZONE
HEIGHT DISTRICT: 80'

ADJACENT ZONING & LAND USE	ZONING	LAND USE
FRONT (W)	C-2/PD/MR	MALL ROAD (PUBLIC)
RIGHT SIDE (S)	C-2/PD/MR	STORMWATER DETENTION AREA
LEFT SIDE (N)	C-2/PD/MR	PINNACLE DRIVE (PUBLIC)
REAR (E)	C-2/PD/MR	APEX LANE (PUBLIC)

REQUIRED SETBACKS	BUILDING		PARKING	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FRONT (W)	15'	100'	10'	23
RIGHT SIDE (S)	15'	63'	10'	3'
LEFT SIDE (N)	10'	94'	5'	3'
REAR (E)	10'	78'	10'	9'

*THERE IS ALSO A 25' MAX. BUILDING SETBACK. THE EXCEPTION IS A DOUBLE ROW OF PARKING WITH A DRIVE AISLE IS PERMITTED BETWEEN THE REQUIRED PARKING SETBACK AND BUILDING, BUT NO DRIVE-THRU LANES ARE PERMITTED IN THIS AREA.

BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN)
 SQUARE FOOTAGE AREA (GROSS) 4,632 S.F.
 NUMBER OF SEATS 140 INDOOR
 ACTUAL BUILDING HEIGHT 25'-8"
 NUMBER OF STORIES SINGLE/ONE (1)

PARKING SUMMARY:
 REQUIREMENT: 1 SPACES PER 2 SEATS PLUS 1 SPACES PER 250 S.F. PATIO SPACE
 PARKING REQUIRED:
 700 S.F. PATIO / 250 S.F. = 3 SPACES
 138 SEATS / 2 = 69
 4,894 S.F. / 100 S.F. = 49 SPACES MAX.

EXISTING PARKING SPACES PROVIDED:
 REGULAR SPACES = 66
 ACCESSIBLE SPACES = 3
 TOTAL = 69

PROPOSED PARKING SPACES PROVIDED:
 REGULAR SPACES = 59
 ACCESSIBLE SPACES = 3
 TOTAL = 62

CHICK-FIL-A
HOUSTON ROAD FSU
4980 HOUSTON ROAD
FLORENCE, KY 41042

FSU# 02593

REVISION	SCHEDULE	NO.	DATE	DESCRIPTION
1		1	7/11/2017	ISSUED FOR BID

GBC PROJECT #	41141A
PRINTED FOR	Bid
DATE	7/5/17
DRAWN BY	B.A.W.

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SHEET: SITE PLAN

Bid SHEET NUMBER C-2.0

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS PRIOR TO THE START OF CONSTRUCTION.

Order Plans