

MAINT MAINTENANCE/ MAINTAIN

MAGNOLIA DESIGN CENTER

MAGNOLIA HOME THEATEI

MUSICAL INSTRUMENT

ENTRY MATT CARPET TILE

MASONRY

MATERIAL

MAXIMUM

METAL PANEL

MEZZANINE

MIRROR

NOMINAL

NO./#

NOM

OFD

PVMT

QTR

RAD

RECEPT

RECT

SCD SECT

STD

STL

THK

TOL

TYP

VAR

W/O

WAIN

VERT

STOR

RB

MANUFACTURER

MASONRY OPENING

NOT IN CONTRACT

NOT-TO-SCALE

ON-CENTER

OPENING

OPPOSITE

PRECAST

PLYWOOD

PUSH PLATE

PARTITION

QUARTER

PERFORATED

PLASTIC LAMINATE

PRESSURE TREATED

PREFABRICATED

RADIUS

RUBBER-BASE

ROOF DRAIN

RECEPTION

RECEPTACLE

REINFORCED REQUIRED

RESILIENT

REVISION

ROOM

SOLID CORE

SQUARE FEET

SPECIFICATION

SERVICE SINK

STANDARD

SUSPENDED SYM SYMMETRICAL

TELEPHONE

TEMPORAR\

THRESHOLD

TOLERANCE

UNFINISHED

OTHERWISE

VARIES

VERTICAL

VOLUME

WITHOUT

WAINSCOT

WATER CLOSET

WATER HEATER

WITH

VERIFY IN FIELD

VINYL COMPOSITE TILE

UNLESS NOTED

UNIFORM BUILDING CODE

TOILET

TYPICAL

STEEL

SURF SURFACE

STORAGE

STAINLESS STEE

SCHEDULE

SECTION

RECTANGULAR

ROUGH OPENING

RIGHT OF WAY RAINWATER LEADER

REFLECTED CEILING PLAN

OVERFLOW DRAIN

BEST BUY #159 NOTINGHAM SQUARE 5200 CAMPBELL BLVD. WHITE MARSH, MD 21236

ABBREVIATIONS

ACOUSTICAL CEILING TILE **ADJACENT ADMINISTRATION** ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AGGREGATE **AUTHORITY HAVING JURISDICTION** ALTERNATE/ALTERATION APPROX APPROXIMATE

BEST BUY STORES L.F BOTTOM OF CURB **BLOCKING** BOULEVARD **BOTTOM OF** BEARING BETWEEN

BLKG

CONTROL JOIN CENTER LINE CEILING CAULKING CONCRETE MASONRY UNITS CLEAN OUT COLUMN CONCRETE CONTINUOUS COORDINATE

COORD CENTER DEPARTMENT DRINKING FOUNTAINDIAMETER DIAGONAL DIMENSION

DOWN SPOUT DRAWING **EXTERIOR INSULATION 8** FINISH SYSTEM **EXPANSION JOINT**

FLEVATION ELECTRICAL EMERGENCY PANELBOARD/ END PANEL EQUAL EXST (E) EXISTING TO REMAIN **EXTERIOR FURNISHED AND INSTALLED BY** CONTRACTOR

> FLOOR DRAIN FIRE DEPARTMEN CONNECTION FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET **FLOOR** FROM/ FACTORY MUTUAL RESEARCH CORE FACE OF **FURNISHED BY OWNER** FURNISHED BY OWNER **INSTALLED BY OWNER** FIRE RETARDANT TREATED FOOT OR FEET

FURNACE/ FURNISH FURRING GALVANIZED GRAB BAR GYPSUM

HOSE BIB HANDICAPPED\

HOLLOW-CORE WOOD HOLLOW METAL HORIZ HORIZONTAL INSULATION INSTALLATION SERVICE

JOIST JOINT

INTERIOR

CENTER

KICK PLATE LAVATORY LOCKER LIVE LOAD

KNOCKOUT LOW POINT LOSS PREVENTION LIGHT LTWT LIGHTWEIGHT

GENERAL NOTES

THESE DRAWINGS ARE THE PROPERTY OF BEST BUY STORES, L.P. NO CHANGES TO THESE DOCUMENTS EITHER IN WHOLE OR IN PART, MAY BE MADE WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE INDIVIDUAL WHOSE NAME AND SIGNATURE APPEARS UPON THE DOCUMENTS.

WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ALL

PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH STATE AND/OR FEDERAL CONSTRUCTION SAFETY GUIDELINES **ENSURING SAFETY OF PUBLIC & WORKERS AND STORE EMPLOYEES**

GENERAL CONTRACTOR TO THOROUGHLY REVIEW THESE DRAWINGS. VISIT THE SITE, VERIFY ALL

ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS, APPROVALS AND PERMITS INSTALLING CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT.

DIMENSIONS BEFORE SUBMITTING A BID. AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

PERMIT FOR TENANT SIGNAGE BY OWNER. FOLLOWING ITEMS INCLUDED TO BE DEFERRED SUBMITTAL 7.b. SECURITY AND FIRE ALARM SYSTEMS

ALL DEFERRED SUBMITTAL ITEMS SHALL FIRST, BE SUBMITTED TO PROJECT ARCHITECT FOR REVIEW AND COORDINATION. SUBMITTAL SHALL INCLUDE A LETTER THAT THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED, ALL PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC) WITH NO EXCEPTION.

8. ALL EXISTING FIRE LANES TO BE MAINTAINED.

REPAIR EXISTING PUBLIC FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION TO THE SATISFACTION OF AUTHORITY HAVING JURISDICTION.

10. ENSURE ALL FINISH MATERIALS WILL BE FLUSH WITH ADJACENT SURFACES AND JOINTS, (EXCEPT WHERE

. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT ALL APPLICABLE FEES SHALL BE PAID. THESE FEES SHALL INCLUDE, BUT NOT BE LIMITED TO, THOSE FEES REQUIRED BY CITY ORDINANCES SUCH AS TRAFFIC IMPACT FEES, NOISE FEES, PUBLIC FACILITIES FEES, FIRE IMPACT FEES, AND REGIONAL TRANSPORTATION

2. PROVIDE CONTAINER FOR ALL CONSTRUCTION DEBRIS, TRASH AND MATERIALS ON-SITE UNTIL DISPOSAL OFF-SITE CAN BE ARRANGED. 13. PROVIDE DOUBLE STUDS, BLOCKING, BRACING AND BACK-UP PLATES WHERE REQUIRED TO SUPPORT

EQUIPMENT, MISCELLANEOUS ITEMS,(I.E., TYPICAL CASEWORK, CABINETS, GRAB BARS, TOILET ACCESSORIES, FIXTURES, SIGNS, HAND RAILING, ETC.) ALL WOOD TO BE F.R.T. AS REQUIRED BY CODE 14. ALL COLUMN LINES SHOWN ON FLOOR PLANS WILL HAVE COLUMN LINE INDICATOR BUBBLES SHOWN ON

THEM. THESE BUBBLES ARE FOR REFERENCE ONLY. THE COLUMNS ARE NUMBERED ON THE STRUCTURAL 5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE

FOR OBTAINING CLARIFICATION FROM THE OWNER'S REPRESENTATIVE BEFORE CONTINUING WITH

16. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL TRADES.

17. CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS AND REQUIRED CLEARANCES OF ALL EQUIPMENT (REFER TO DRAWINGS, SPECIFICATIONS, AND EQUIPMENT MANUALS & CUT SHEETS).

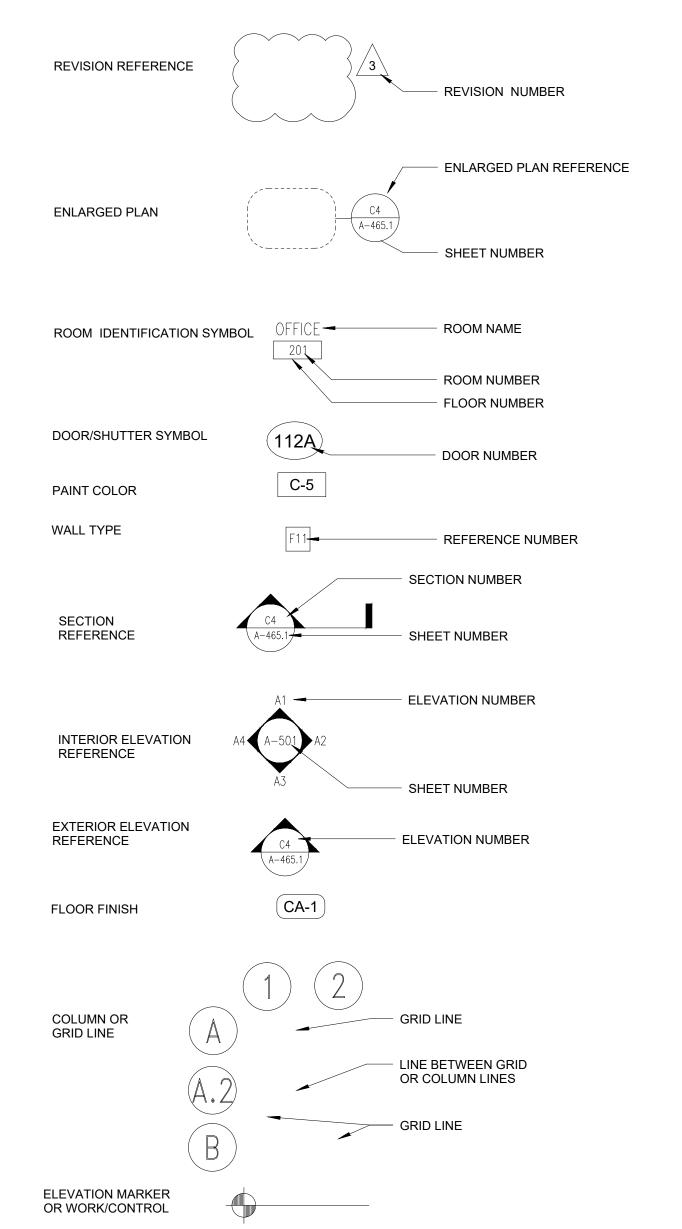
18. ALL SYMBOLS. ABBREVIATIONS, AND NOTES MARKED "TYPICAL" OR "TYP." SHALL APPLY IN ALL SIMILAR CIRCUMSTANCES, UNLESS NOTED OTHERWISE.

19. EXISTING SPRINKLER SYSTEM TO REMAIN. THE SPRINKLER CONTRACTOR SHALL CONFIRM ANY MODIFICATIONS REQUIRED BY THE CITY TO MEET THE LOCAL FIRE DEPARTMENT REQUIREMENTS.

20. IT IS THE RESPONSIBILITY OF THE GC TO RELOCATE ALL EXISTING FIRE STROBE, RTU SENSORS, FIRE EXTINGUISHERS ON COLUMNS / WALLS THAT IMPACT AND NEW FIXTURES / CABINETRY.

REVISIONS

SYMBOLS



White Marsh Blvd White Marsh Mall

VICINITY MAP



AUTHORITY HAVING JURISDICTION

BUILDING DEPARTMENT BALTIMORE COUNTY OFFICE BUILDING 111 WEST CHESAPEAKE AVE TOWSON, MD 21204 410-887-3353

BEST BUY CO. CONTACTS

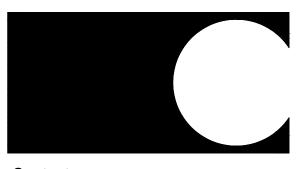
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CONTRACTOR

PROJECT SCOPE

INTERIOR REFRESH OF SALES AREA INCLUDES REMOVING EXISTING FIXTURES AS REQ'D TO REPLACE OLD FIXTURES, NEW PAINT, NEW CARPETING, NEW RESTROOM ACCESSORIES, FIXTURES AND WALL TILE AND REPLACEMENT OF DAMAGED / MISSING CEILING TILES. EXISTING OCCUPANCY, EXITING & SIZE OF BUILDING SHALL BE MAINTAINED & ARE NOT MODIFIED IN THIS

CODE ANALYSIS

I. Applicable Codes Building Code - 2015 INTERNATIONAL BUILDING CODE w/ AMENDMENTS

Electrical Code - 2014 NATIONAL ELECTRIC CODE

C. Fire Code - 2015 NFPA 1 FIRE CODE D. Life Safety Code - 2015 NFPA 101 LIFE SAFETY CODE

Accessibility - 2015 ACCESSIBILITY GUIDELINES w/ AMENDMENTS

Energy Code - 2015 INTERNATIONAL ENERGY CONSERVATION CODE Plumbing Code - 2015 NATIONAL PLUMBING CODE w/ AMENDMENTS Mechanical Code - 2015 INTERNATIONAL MECHANICAL CODE w/

II. Occupancy Type

AMENDMENTS

A. Non-separated mixed use: Primary Group: M - Mercantile Secondary: S-1 - Storage

III. Construction Type A. Originally permitted as Type II-B, Fully sprinklered

B. Structural Fire Ratings 1. Interior Bearing Walls/Columns - 0 hr.

2. Interior Non-Bearing Walls @ Accessory Sales Walls 3. Beams, Trusses & Girders

- 0 hr. 4. Floor/Ceiling 5. Roof/Ceiling - 0 hr. Exterior Bearing Wall

IV. Fire Suppression System A. Fully Sprinklered

V. Building Height & Area A. Height

Existing

B. Square Footage: 1. Existing Tenant Space: 57, 504 s.f.

ARCHITECTURAL FIXTURE PLANS FIXTURE EXTENSION PLAN & DETAILS **MECHANICAL ENLARGED PLUMBING PLANS & DETAILS ELECTRICAL** PANELBOARD SCHEDULES & RISER **REVISION NUMBER**

SHEET INDEX

COVER SHEET

FLOOR PLAN

FIXTURE PLAN

FIXTURE SIGN PLAN

HVAC FLOOR PLAN

F-2

E0.1

E1.0

E3.0

REVISION NUMBER

DEMOLITION PLAN

RESTROOM PLAN

FINISH PLAN & SCHEDULES

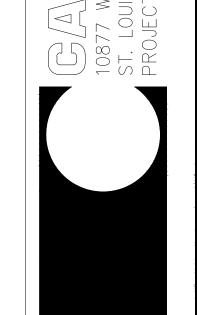
FIXTURE EXTENSION DETAILS

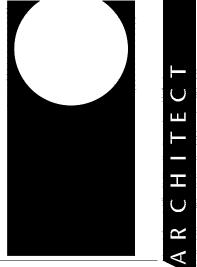
ELECTRICAL LIGHTING PLAN

ELECTRICAL POWER PLAN

ELECTRICAL DETAILS

RESTROOM ELEVATIONS





"Professional Certification. I certify that these documents were prepared or approved by me, and that am a duly licensed architect under the laws of the State of Maryland, license number 16768, expiration date 11/30

MARK S. BROMEIER License Number: 16768 Expiration Date: 11/30/

> SQ. FT. CALCS 51,984 SF

4,535 SF

57,504 SF

58K C3. PROTOTYPE DATE:

STORE NUMBER:



OWNER SET CASCO #317167

REV DATE

COVER SHEET