



BEST BUY #159 NOTTINGHAM SQUARE 5200 CAMPBELL BLVD. WHITE MARSH, MD 21236

AUTHORITY HAVING JURISDICTION

BUILDING DEPARTMENT: BALTIMORE COUNTY OFFICE BUILDING 111 WEST CHESAPEAKE AVE TOWSON, MD 21204 410-887-3353

SHEET INDEX

Table with 3 columns: Sheet Number, Description, and Revision Number. Includes sheets for Architectural, Fixture Plans, Mechanical, and Electrical.

BEST BUY CO. CONTACTS

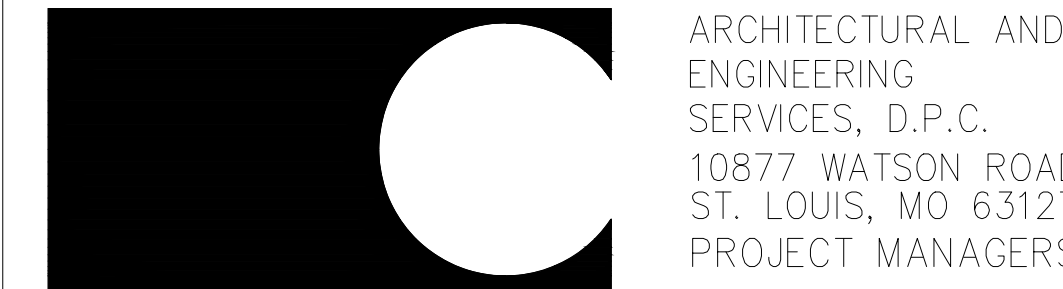
DESIGN MANAGER: Contact: Tim Palmquist E-MAIL: timothy.palmquist@bestbuy.com



PROJECT MANAGER: Contact: Todd Rohrer Best Buy Construction Project Manager 7801 Penn Avenue South Richfield, MN 55423

todd.rohrer@bestbuy.com

ARCHITECT



Contacts: Brian Nast, Angie Seguin, brian.nast@cascoCorp.com, angie.seguin@cascoCorp.com

MECHANICAL, PLUMBING & ELECTRICAL

Dunham Associates, Inc. 50 South Sixth Street / Suite 1100 Minneapolis, Minnesota 5542-1540

Contacts: Troy Rolph (Elec), Betsy Reed, troy.rolph@dunhameng.com, betsy.reed@dunhameng.com

CONTRACTOR

TBD

PROJECT SCOPE

INTERIOR REFRESH OF SALES AREA INCLUDES REMOVING EXISTING FIXTURES AS REQ'D TO REPLACE OLD FIXTURES, NEW PAINT, NEW CARPETING, NEW RESTROOM ACCESSORIES, FIXTURES AND WALL TILE AND REPLACEMENT OF DAMAGED / MISSING CEILING TILES.

EXISTING OCCUPANCY, EXISTING & SIZE OF BUILDING SHALL BE MAINTAINED & ARE NOT MODIFIED IN THIS SCOPE OF WORK.

CODE ANALYSIS

- I. Applicable Codes: Building Code - 2015 INTERNATIONAL BUILDING CODE w/ AMENDMENTS, Electrical Code - 2014 NATIONAL ELECTRIC CODE, Fire Code - 2015 NFPA 1 FIRE CODE, Life Safety Code - 2015 NFPA 101 LIFE SAFETY CODE, Accessibility - 2015 ACCESSIBILITY GUIDELINES w/ AMENDMENTS, Energy Code - 2015 INTERNATIONAL ENERGY CONSERVATION CODE, Plumbing Code - 2015 NATIONAL PLUMBING CODE w/ AMENDMENTS, Mechanical Code - 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS

- II. Occupancy Type: Non-separated mixed use: Primary Group: M - Mercantile, Secondary: S-1 - Storage
- III. Construction Type: Originally permitted as Type II-B, Fully sprinklered

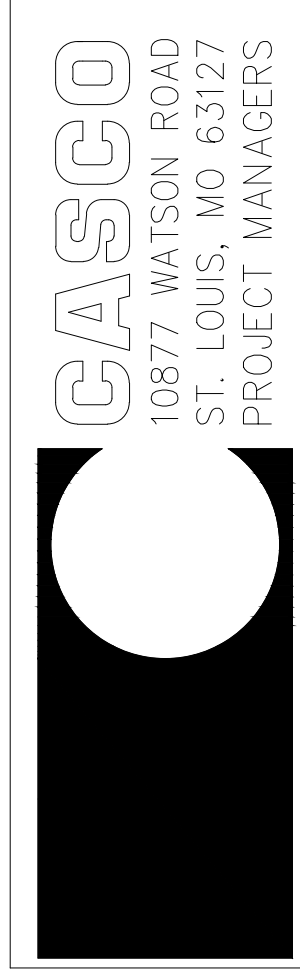
- B. Structural Fire Ratings: Interior Bearing Walls/Columns - 0 hr., Interior Non-Bearing Walls @ Accessory Sales Walls - 0 hr., Beams, Trusses & Girders - 0 hr., Floor/Ceiling - 0 hr., Roof/Ceiling - 0 hr., Exterior Bearing Wall - 0 hr.

- IV. Fire Suppression System: Fully Sprinklered

- V. Building Height & Area

- A. Height: Existing

- B. Square Footage: Existing Tenant Space: 57, 504 s.f.



Professional Certification: I certify that these documents were prepared or supervised by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number: 18768, expiration date: 11/30/17.

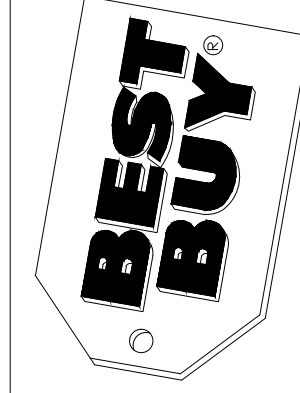
MARK S. BROWER License Number: 18768 Expiration Date: 11/30/17 PROFESSIONAL ARCHITECT

Professional Seal

OWNER

Table with 2 columns: Description and Value. SO. FT. CALCS: 51,984 SF. STORAGE/REMAINING: 4,535 SF. INSTALL: 985 SF. TOTAL: 57,504 SF.

CONCEPT: 58K C3.1 PROTOTYPE DATE: N/A STORE NUMBER: 0159



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OWNER SET DATE: 4/28/2017 CASCO #317167

Table with 2 columns: REV and DATE. Includes revision tracking rows.

COVER SHEET

CS1.0

ABBREVIATIONS

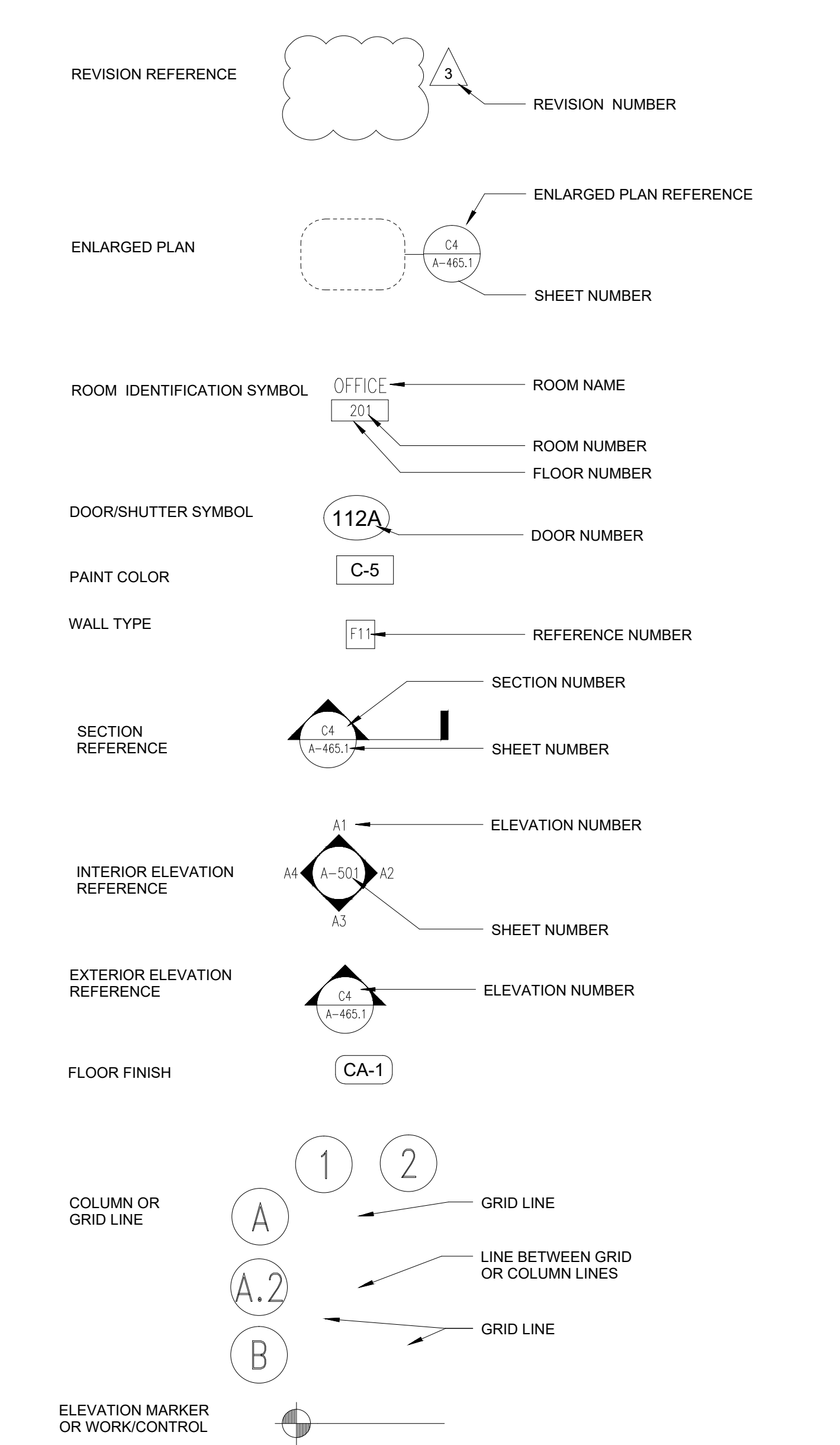
Table of abbreviations for architectural and construction terms, such as ACT (Acoustical Ceiling Tile), ADMIN (Administration), and JAN (Janitor).

GENERAL NOTES

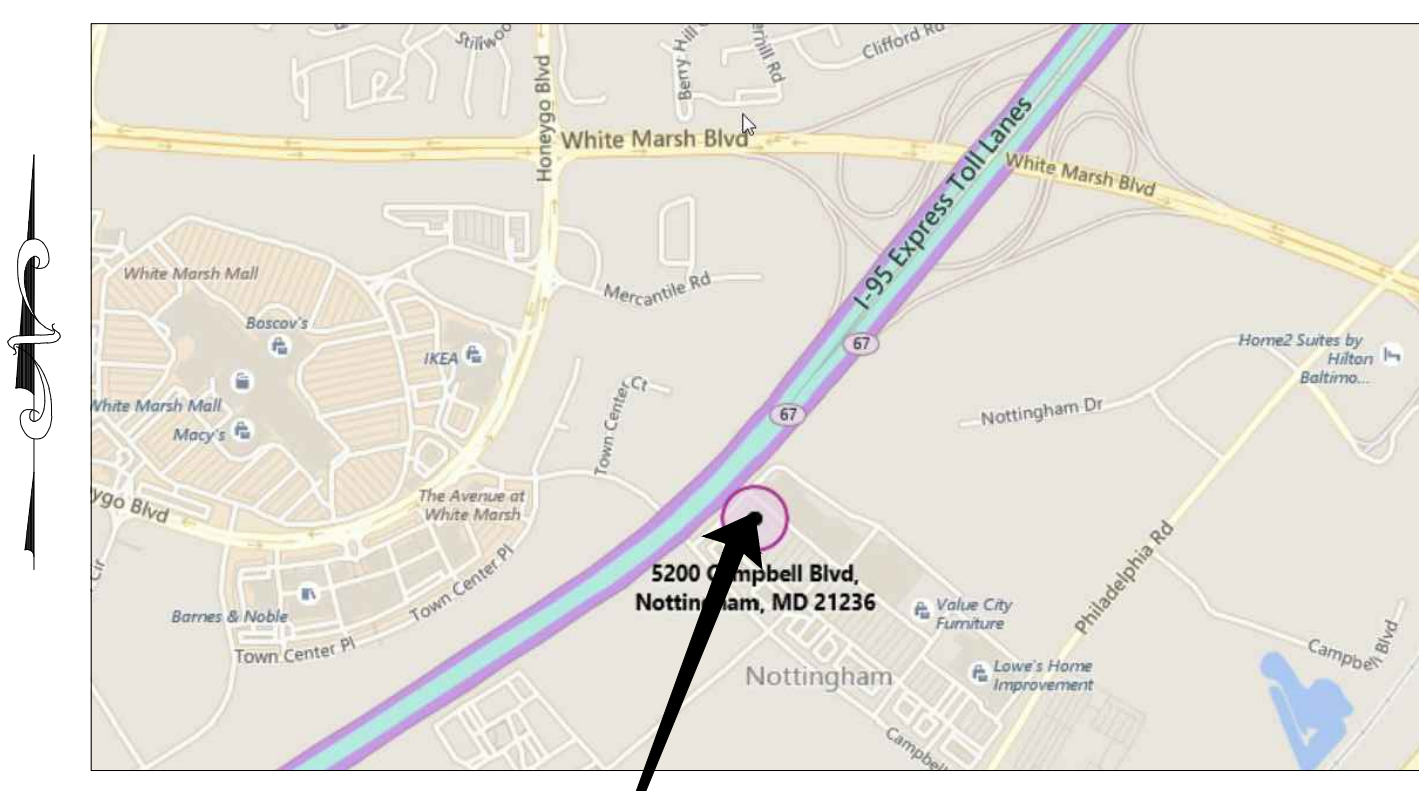
- 1. THESE DRAWINGS ARE THE PROPERTY OF BEST BUY STORES, L.P. NO CHANGES TO THESE DOCUMENTS, EITHER IN WHOLE OR IN PART, MAY BE MADE WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE INDIVIDUAL WHOSE NAME AND SIGNATURE APPEARS UPON THE DOCUMENTS.
- 2. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND ALL STATE AND FEDERALLY MANDATED REQUIREMENTS IN EFFECT AT THE TIME OF SUBMITTAL FOR BUILDING PERMITS.
- 3. THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH STATE AND/OR FEDERAL CONSTRUCTION SAFETY GUIDELINES ENSURING SAFETY OF PUBLIC & WORKERS AND STORE EMPLOYEES.

REVISIONS

SYMBOLS



VICINITY MAP



VERTICAL TEXT: ARCHITECT, CONSULTANT, OWNER, LOCATION, DATE, REVISIONS, SHEET