

SURVEY NOTES

EQUIPMENT USED:
A TRIMBLE 57 SERIES TOTAL STATION WAS USED TO OBTAIN ANGULAR MEASUREMENTS AND DISTANCE MEASUREMENTS.

A TRIMBLE R-10 DUAL FREQUENCY GPS UNIT WAS USED FOR ESTABLISHING CONTROL. A NETWORK ADJUSTED RTK SURVEY WAS PERFORMED AND ADJUSTED BY RELATIVE POSITIONAL ACCURACY.

CLOSURE STATEMENT:
THIS SURVEY HAS BEEN CALCULATED FOR CLOSURE AND IS ACCURATE WITHIN ONE FOOT IN 476,846 FEET.

THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAD A CLOSURE OF ONE FOOT IN 48,835 FEET AND AN ANGULAR ERROR OF 2" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE.

THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE) NAD83.

ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES. MEASURING UNITS OF THIS SURVEY ARE IN U.S. SURVEY FEET.

CONTOURS ARE SHOWN AT TWO FOOT INTERVALS. ELEVATIONS ARE BASED ON RTK GLOBAL POSITIONING SYSTEMS OBSERVATION AND ARE RELATIVE TO NAVD 88 DATUM.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON NOVEMBER 2, 2016.

INFORMATION REGARDING SIZE, LOCATION, AND SPECIES OF EXISTING TREES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE SIZE AND SPECIES OF THE SAID TREES WITHOUT VERIFICATION FROM THE DESIGNATED ARBORIST BY THE LOCAL REGULATORY AUTHORITY. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON EXCEPT BY APPROVAL OF SAID AUTHORITY.

THIS SURVEY MAY NOT REPRESENT OFFSITE PAINT STRIPING TO THE ACCURACY REQUIRED FOR LANE DESIGN. TERRAMARK LOCATES THE EDGE OF PAVING AND CRITICAL POINTS TO REFLECT ACCURATE TOPOGRAPHIC DATA ONLY. ACCURACY OF PAINT LOCATIONS SHOULD BE VERIFIED WITH SURVEYOR PRIOR TO USING THIS SURVEY FOR DESIGN.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER, AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY TO THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION SHOWN HEREON AS TO SUCH UNDERGROUND INFORMATION.

INFORMATION REGARDING STORM SEWER AND SANITARY SEWER AS SHOWN HEREON, IS BASED ON OBSERVATIONS TAKEN BY TERRAMARK EMPLOYEES AT THE GROUND ELEVATION OF THE EXISTING STRUCTURE. TERRAMARK EMPLOYEES ARE NOT AUTHORIZED TO ENTER A CONFINED SPACE SUCH AS A STRUCTURE. THEREFORE, THERE IS NO CERTAINTY OF THE PIPE SIZES AND PIPE MATERIAL THAT ARE SHOWN ON THIS SURVEY. EXCAVATION BY A CERTIFIED CONTRACTOR IS THE ONLY WAY TO VERIFY PIPE SIZE AND MATERIAL. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS, HIS CONTRACTORS, AND/OR HIS AGENTS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THE PIPE INFORMATION SHOWN HEREON.

STATE WATERS AND BUFFERS AS SHOWN OR NOT SHOWN HEREON ARE SUBJECT TO REVIEW BY LOCAL JURISDICTION OFFICIALS. IT IS THE RESPONSIBILITY OF THE LOCAL AUTHORITY TO DETERMINE SPECIFIC WATER CLASSIFICATION. THEREFORE, TERRAMARK LAND SURVEYING ACCEPTS NO RESPONSIBILITY IN THE IDENTIFICATION OF SAID WATERS OR BUFFERS IDENTIFIED OR NOT IDENTIFIED HEREON.

PROPERTY IS SUBJECT TO RIGHTS OF UPPER AND LOWER RIPARIAN OWNERS IN AND TO THE WATER OF CREEKS AND BRANCHES CROSSING OR ADJOINING SUBJECT PROPERTY AND THE NATURAL FLOW THEREOF, FREE FROM DIMINUTION OR POLLUTION.

THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT THE EXPRESS CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

TERRAMARK LAND SURVEYING, INC. DOES NOT WARRANT THE EXISTENCE OR NON-EXISTENCE OF ANY WETLANDS OR HAZARDOUS WASTE IN THE SURVEY AREA.

SITE INFORMATION

CURRENT OWNER: DEKALB COUNTY BOARD OF EDUCATION
 TAX PARCEL ID # DB 4090 PG. 145
 ADDRESS: 4664 NORTH PEACHTREE ROAD
 ZONING: R-85
 JURISDICTION: CITY OF DUNWOODY
 SETBACKS: FRONT 35'
 SIDE 8.5'
 REAR 40'

UTILITY NOTES

THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON LOCATION OF MARKINGS PROVIDED BY:

UTILISURVEY, LLC
 154 GRANT ROAD
 FAYETTEVILLE, GA 30215
 PHONE: 404-312-8912
 ATTENTION: HANS WÖNNBERGER

THE UNDERGROUND UTILITIES (EXCEPT THE LOCATION OF EXISTING DRAINAGE, SEWER, AND IRRIGATION UTILITIES AS WELL AS UNDERGROUND STORAGE TANKS) WERE LOCATED BY UTILISURVEY, LLC, UTILIZING RADIO FREQUENCY TECHNIQUE AND IN ACCORDANCE TO LEVEL 2 UTILITY LOCATION CRITERIA. THIS TECHNIQUE IS CAPABLE OF LOCATING METALLIC UTILITIES AND TRACER WIRES. ANY NON-METALLIC UTILITIES (WITHOUT TRACER WIRE) ARE NOT LOCATED.

THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. UNDERGROUND UTILITIES NOT OBSERVED OR LOCATED UTILIZING THIS TECHNIQUE MAY EXIST ON THIS SITE BUT ARE NOT SHOWN, AND MAY BE FOUND UPON EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

INFORMATION REGARDING MATERIAL AND SIZE OF UTILITIES IS BASED ON RECORDS ACQUIRED FROM THE UTILITY OWNERS.

UTILITY PROVIDERS

GAS
 SOUTHERN COMPANY GAS (FORMER ATLANTA GAS LIGHT)
 10 PEACHTREE STREET NE
 ATLANTA, GA 30308
 MARTIN MARKER
 (404) 584-4128

POWER
 GEORGIA POWER COMPANY
 823 JEFFERSON STREET
 ATLANTA, GA 30318
 (404) 528-4889
 IKE COLLINS

CITY OF DUNWOODY ELECTRIC
 41 PERIMETER CENTER EAST, SUITE 250
 DUNWOODY, GA 30348
 (770) 724-1034

WATER
 DEKALB COUNTY WATER & SEWER DEPARTMENT
 4572 MEMORIAL DRIVE
 DECATUR, GA 30032
 (770) 812-7222
 JEFFREY WOODS
 (770) 724-1034
 JWOODS@DEKALBCOUNTYGA.GOV

COMMUNICATION
 AT&T
 208 S. AKARD ST.
 DALLAS, TX 75202
 (210) 821-4105
 ANGELO HINES
 (770) 784-3972

COMCAST
 (770) 559-8879
 SANDRA ANDREWS

ZAYO FIBER SOLUTIONS
 400 CENNIENAL PKWY., SUITE 200
 LOUISVILLE, CO 80027
 (878) 686-2493
 NIC FLORES

CITY OF DUNWOODY TELECOM
 41 PERIMETER CENTER EAST, SUITE 250
 DUNWOODY, GA 30348
 (770) 812-7222

SITE AREA

325,159 SQ.FT.
 OR
 7.4646 AC.

TITLE NOTES

- ACCORDING TO THE "FIRM" (FLOOD INSURANCE RATE MAP) OF DEKALB COUNTY, GEORGIA (PANEL NUMBER 1309B00016A), DATED MAY 16, 2013, NO PORTION OF THIS PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA.
- SUBJECT PROPERTY HAS ACCESS TO THE PUBLIC RIGHT OF WAY OF BARCLAY DRIVE.
- AS OF THE DATE OF THIS SURVEY, TITLE TO SUBJECT PROPERTY APPEARS TO BE VESTED IN THE NAME OF DEKALB COUNTY BOARD OF EDUCATION, PER DEED RECORDED AMONG THE LAND RECORDS OF DEKALB COUNTY, GEORGIA IN DEED BOOK 4090, PAGE 145.
- PROPERTY IS SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY, RECORDED AND UNRECORDED.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT (COMMITMENT NO. 77777777, COMMITMENT DATE OF 7/7/77, 2016), PREPARED BY 77777777 TITLE INSURANCE COMPANY, AND RECEIVED ON 7/7/77, 2016. IN ADDITION, THE SURVEY REFLECTS APPLICABLE ENCUMBRANCES AND SPECIAL EXCEPTIONS SHOWN BELOW.
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2180, PAGE 902. (DOES NOT AFFECT SUBJECT PROPERTY).
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2180, PAGE 908. (AFFECTS SUBJECT PROPERTY FOR MAINTENANCE OF ROAD, BLANKET IN NATURE).
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2281, PAGE 977. (DOES NOT AFFECT SUBJECT PROPERTY).
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2281, PAGE 880. (AFFECTS SUBJECT PROPERTY FOR MAINTENANCE OF ROAD, BLANKET IN NATURE).
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2482, PAGE 831. (DOES NOT AFFECT SUBJECT PROPERTY).
 - DEPARTMENT OF TRANSPORTATION DRAINAGE EASEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2823, PAGE 431. (DOES NOT AFFECT SUBJECT PROPERTY).
 - RIGHT OF WAY DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 3012, PAGE 579. (DOES NOT AFFECT SUBJECT PROPERTY).
 - LEASE, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 3455, PAGE 243. (DOES NOT AFFECT SUBJECT PROPERTY).
 - LEASE AGREEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 4239, PAGE 475. (DOES NOT AFFECT SUBJECT PROPERTY).
 - AFFIDAVIT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 4943, PAGE 380. (MAY AFFECT SUBJECT PROPERTY, UNABLE TO DETERMINE ACTUAL LOCATION, UNLESS PROVIDED).
 - DEKALB COUNTY SEWER EASEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 6162, PAGE 326. (DOES NOT AFFECT SUBJECT PROPERTY).
 - DRAINAGE EASEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 6174, PAGE 376. (DOES NOT AFFECT SUBJECT PROPERTY).
 - EASEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 1815, PAGE 187. (AFFECTS SUBJECT PROPERTY, UNABLE TO DETERMINE ACTUAL LOCATION).
 - QUITCLAIM DEED, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2288, PAGE 81. (AFFECTS SUBJECT PROPERTY, UNABLE TO DETERMINE ACTUAL LOCATION).
 - UNDERGROUND EASEMENT, RECORDED AMONG THE AFORESAID LAND RECORDS IN DEED BOOK 2288, PAGE 88. (DOES NOT AFFECT SUBJECT PROPERTY).



PHOTO #1



PHOTO #2



PHOTO #3

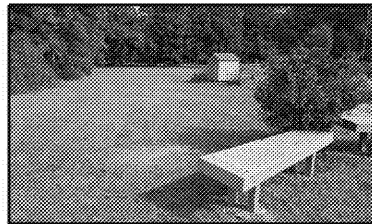
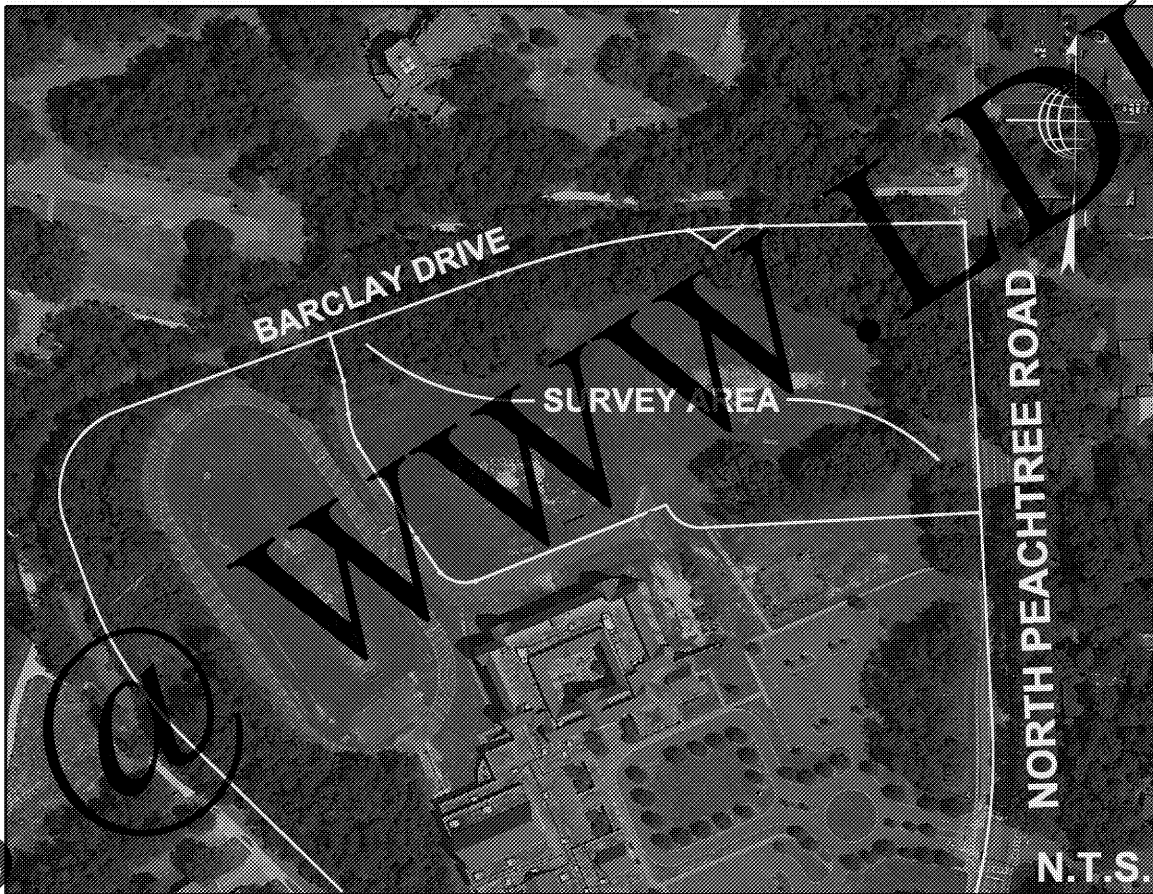


PHOTO #4

ALT/NSPS LAND TITLE SURVEY FOR THE CITY OF DUNWOODY & OLD REPUBLIC TITLE INSURANCE COMPANY (PEACHTREE CHARTER MIDDLE SCHOOL)

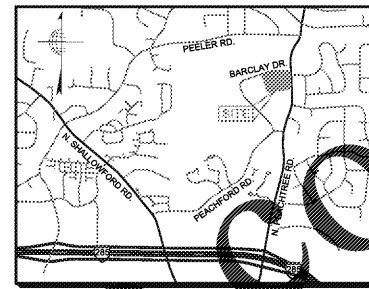
LOCATED IN
 LAND LOT 354, 18TH DISTRICT
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SITE MAP



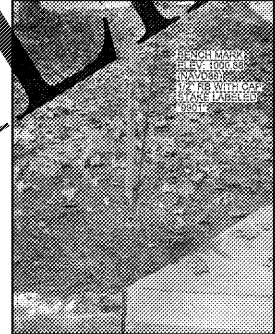
AERIAL IMAGE PROVIDED BY GOOGLE EARTH
 IMAGERY DATED MAY 7, 2016

PICTURE LOCATION
 AND DIRECTION

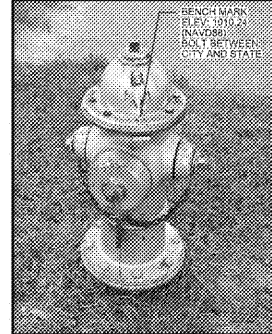


LOCATION MAP

NAD 83 TO NAD 2011
 LAT: 33°59'57.45"N
 LONG: 84°17'46.53"W



BENCHMARK
 DETAIL #1



BENCHMARK
 DETAIL #2

PROPERTY DESCRIPTION

Being all that tract or parcel of land lying and being in Land Lot 354, 18th District, DeKalb County, Georgia and being more particularly described as follows:

- Beginning for the same at a 1/4 inch rebar found at the intersection of the South Line of Barclay Drive (an apparent 60 feet wide right of way) and the Westery Right-of-Way Line of North Peachtree Road (an apparent 70 feet wide right of way); thence, leaving said Point of Beginning and running with the said line of North Peachtree Road
- South 03° 09' 00" East, 397.47 feet; thence, leaving the aforesaid line of North Peachtree Road and running
 - South 89° 51' 00" West, 381.86 feet; thence,
 - 62.23 feet along the arc of a curve deflecting to the right, having a radius of 50.00 feet and a chord bearing and distance of North 57° 28' 39" West, 58.32 feet; thence,
 - South 06° 11' 42" West, 281.06 feet; thence,
 - 62.75 feet along the arc of a curve deflecting to the right, having a radius of 47.50 feet and a chord bearing and distance of North 76° 17' 13" West, 50.08 feet; thence,
 - North 32° 03' 41" West, 150.30 feet; thence,
 - 45.70 feet along the arc of a curve deflecting to the right, having a radius of 120.00 feet and a chord bearing and distance of North 77° 28' 30" West, 45.43 feet; thence,
 - North 08° 51' 33" West, 44.92 feet; thence,
 - North 18° 24' 42" West, 68.78 feet to a point on the aforesaid line of Barclay Drive; thence, running with the said line of Barclay Drive
 - North 70° 12' 00" East, 244.86 feet; thence,
 - 62.23 feet along the arc of a curve deflecting to the right, having a radius of 1,115.93 feet and a chord bearing and distance of North 77° 04' 57" East, 267.45 feet; thence, leaving the aforesaid line of Barclay Drive and running
 - South 57° 28' 21" East, 41.85 feet; thence,
 - North 54° 01' 45" East, 47.21 feet to a point on the aforesaid line of Barclay Drive; thence, running with the said line of Barclay Drive
 - 26.18 feet along the arc of a curve deflecting to the right, having a radius of 1,115.93 feet and a chord bearing and distance of North 88° 23' 16" East, 25.16 feet; thence,
 - North 89° 00' 00" East, 279.56 feet to the Point of Beginning, containing 325,159 square feet or 7.4646 acres of land, more or less.
- Property is subject to all easements and rights of way recorded and unrecorded.

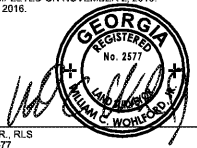
REFERENCE MATERIAL

- QUITCLAIM DEED FOR THE DEKALB COUNTY BOARD OF EDUCATION RECORDED IN DB 4090 PG. 145 AMONG THE LAND RECORDS OF DEKALB COUNTY, GEORGIA
- RIGHT OF WAY DEED FOR DEKALB COUNTY RECORDED IN DB 2281 PG. 880 AFORESAID RECORDS
- QUITCLAIM DEED FOR THE CITY OF DUNWOODY RECORDED IN DB 22089 PG. 735 AFORESAID RECORDS
- SURVEY FOR THE DEKALB COUNTY BOARD OF EDUCATION PREPARED BY WATTS & BROWN ENGINEERS DATED JUNE 4, 1970

SURVEYOR'S CERTIFICATE

TO: THE CITY OF DUNWOODY & OLD REPUBLIC TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR SURVEY AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.2,3,4,5,6(b),(c),8,9,10,11(a),13,14 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON NOVEMBER 2, 2016. THE DATE OF THE SURVEY OR MAP NOVEMBER 4, 2016.



WILLIAM C. WOHLFORD, JR., RLS
 REGISTERED NUMBER 2577

TerraMark Land Surveying, Inc.
 1599 Bells Ferry Road
 Marietta, Georgia 30067
 Phone No. (770) 421-0587
 Fax No. (770) 421-0582
 www.TerraMark.com
 C. A. E. LSF000810

TerraMark
 Professional Land Surveying

Project No.	Revision	Date	Drawn By	Checked By	Approved By	Date	Scale
2016-205		11/02/16	WCV	WCV	WCV	11/04/16	1"=40'
	REVISED NEW PROPERTY LINE	12/17/16					
	ADDED UTILITIES	12/17/16					

ALT/NSPS LAND TITLE SURVEY
 FOR
 THE CITY OF DUNWOODY &
 OLD REPUBLIC TITLE INSURANCE COMPANY
 (PEACHTREE CHARTER MIDDLE SCHOOL)
 LOCATED IN
 LAND LOT 354, 18TH DISTRICT
 CITY OF DUNWOODY, DEKALB COUNTY, GEORGIA

SHEET NO.
 1/2
 DRAWING# TM 18 205