

THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 13245C001, EFFECTIVE DATE SEPTEMBER 17, 2007.

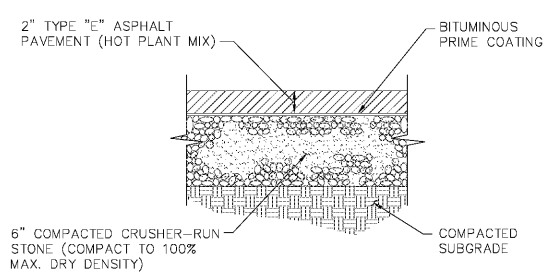
SITE LAYOUT PLAN
SCALE: 1" = 20'

NOTE:
CONTRACTOR SHALL CONTACT THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
APPROVAL BY AUGUSTA, GEORGIA IS FOR IMPROVEMENTS SHOWN IN THE SITE PLAN. ANY VARIATION FROM APPROVED SITE PLAN MUST BE APPROVED BY THE CITY ENGINEER.

PREPARED BY
TATE DESIGN GROUP
SITE DESIGN ENGINEERS
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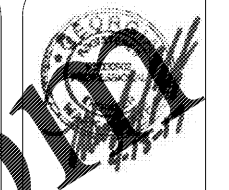
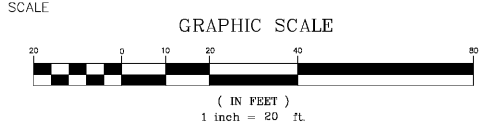
GENERAL NOTES

- ALL CONSTRUCTION IN THE R/W TO CONFORM TO AUGUSTA-RICHMOND COUNTY'S STANDARDS.
- BMPs MUST BE IN PLACE PRIOR TO CLEARING, REGARDLESS OF PLAN REQUIREMENTS OF LOT SIZE. NO GRADING MAY BE DONE UNTIL BMP INSTALLATION IS COMPLETE. CONTRACTOR MUST CONTACT ENGINEERING SERVICES FOR INSPECTION OF BMPs PRIOR TO BEGINNING GRADING ACTIVITY.
- ALL EASEMENTS TO BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.
- DEVELOPERS AND/OR CONTRACTORS ARE RESPONSIBLE TO REMOVE OR CLEAN UP ANY SILT, DIRT, MUD OR ANY OTHER TYPE OF DEBRIS THAT COMES OFF THEIR SITE AND FINDS ITS WAY INTO A PRIVATE POND, ONTO PRIVATE PROPERTY, INTO A COUNTY OWNED POND OR COUNTY OWNED PROPERTY TO INCLUDE RIGHTS-OF-WAY.
- THE CONTRACTOR WILL ADHERE TO THE WEIGHT LIMIT PRESCRIBED BY COUNTY MAINTAINED ROADS FOR HAULING EQUIPMENT AND/OR MATERIAL TO AND FROM THIS SITE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY DAMAGES TO THE STREETS AND/OR UTILITIES DUE TO NON-COMPLIANCE OF WEIGHT LIMIT REGULATIONS.
- NO PART OF SIGNS SHALL BE LOCATED WITHIN 5' OF THE R/W. PRIOR TO ANY SIGN CONSTRUCTION, THE DEVELOPERS AND/OR CONTRACTOR MUST CONSULT WITH A CODE ENFORCEMENT OFFICIAL PRIOR TO A PERMIT BEING ISSUED.
- ALL CONSTRUCTION IN R/W TO CONFORM TO AUGUSTA-RICHMOND COUNTY STANDARDS AND SPECIFICATIONS.
- SILT BARRIERS MUST BE IN PLACE IMMEDIATELY FOLLOWING CLEARING, REGARDLESS OF PLAN REQUIREMENTS OR LOT SIZE. NO GRADING MAY BE DONE UNTIL SILT BARRIER INSTALLATIONS COMPLETE. CONTRACTOR MUST CALL FOR AN INSPECTION OF SOIL EROSION CONTROL MEASURES PRIOR TO BEGINNING GRADING ACTIVITY.
WITHIN COUNTY R/W:
a. TOP 6" OF SUB-BASE MUST BE THOROUGHLY MIXED IN PLACE AND COMPACTED TO 100% MAXIMUM DRY DENSITY, STANDARD PROCTOR;
b. SUB-BASE MUST BE GDOT SPEC SEC 810 CLASS 1A MATERIAL; HIGHER CLASSES OF SOIL MAY NOT BE USED FOR SUB-BASES; WHEN SUB-BASE DOES NOT MEET CLASS 1A, THEN ACCEPTABLE SUB-BASE STABILIZATION METHODS ARE: 1) LIME STABILIZATION, 2) PORTLAND CEMENT, 3) AGGREGATE, OR 4) TYPE B ASPHALT BASE MATERIAL; METHOD TO BE USED AND SPECIFIC DESIGN MUST BE APPROVED BY THE COUNTY ENGINEER;
c. BASE MATERIAL IS COMPACTED GRADED AGGREGATE CONFORMING TO GDOT SPEC SECTION 815 COMPACTED TO 100% MAXIMUM DRY DENSITY, STANDARD PROCTOR; BASE MATERIAL TO BE 6 INCHES OF GRADED AGGREGATE BASE AND PAVING MATERIAL TO BE 2 INCHES TYPE E ASPHALT OR MUST MATCH THE DESIGN OF THE ADJOINING ROADBED, WHICHEVER IS THE GREATER; CERTIFICATION OF BASE MATERIAL MUST BE SUBMITTED PRIOR TO DUMPING BASE.
- NO CERTIFICATE OF OCCUPANCY WILL BE RELEASED UNTIL ALL SITE IMPROVEMENTS, AS APPROVED BY THE COUNTY ENGINEER, ARE COMPLETED.
- ALL UNDERGROUND STORAGE TANKS MUST BE PERMITTED BY THE STATE FIRE MARSHALL'S OFFICE AND APPROVED FOR INSTALLATION.
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH THE CITY ENGINEER OR HIS DESIGNATED REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
- ALL LANDSCAPING SHALL MEET THE REQUIREMENTS SET FORTH IN SECTION 90-140 OF THE AUGUSTA-RICHMOND COUNTY CODE OF ORDINANCE. NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL LANDSCAPING REQUIREMENTS ON THE APPROVED SITE PLAN HAVE BEEN IMPLEMENTED.

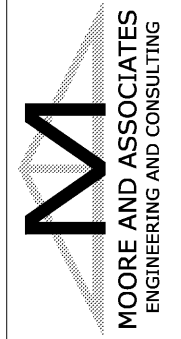


NOTE: TOP 12" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 100% MAXIMUM DRY DENSITY. BASE MATERIAL TO MEET GEORGIA D.O.T. SPEC. SECTION 814.01 FOR CLASS "A" BASE DATED SEPT. 1977. BASE MATERIAL TO BE COMPACTED TO 100% MAXIMUM DRY DENSITY. THE CONTRACTOR WILL PROVIDE COMPACTION TEST RESULTS ON THE SUBGRADE AND COMPACTION AND SOIL ANALYSIS TEST RESULTS FROM AN APPROVED TESTING LABORATORY.

TYPICAL SECTION THRU PAVEMENT & BASE
NO SCALE



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.
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EXPRESS OIL CHANGE BUILDING
837 CABELA DRIVE, AUGUSTA GA 30909

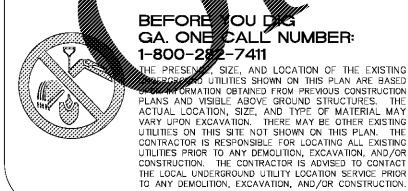
SITE LAYOUT PLAN

SHEET NO.

C-102

DATE: 2/2/2017	DRAWN BY: MST	CHECKED BY: MST
SCALE: 1"=20'	M&A JOB NO: 16213C	

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BEFORE YOU DIG
GA. ONE CALL NUMBER:
1-800-252-7411
THE PRESENT SIZE, AND LOCATION OF THE EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION OBTAINED FROM PREVIOUS CONSTRUCTION PLANS AND VISUAL SURVEY. GROUND STRUCTURES, THE ACTUAL LOCATION, SIZE, AND TYPE OF MATERIAL MAY VARY UPON EXCAVATION. THERE MAY BE OTHER EXISTING UTILITIES ON THIS SITE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION. THE CONTRACTOR IS ADVISED TO CONTACT THE LOCAL UNDERGROUND UTILITY LOCATION SERVICE PRIOR TO ANY DEMOLITION, EXCAVATION, AND/OR CONSTRUCTION.