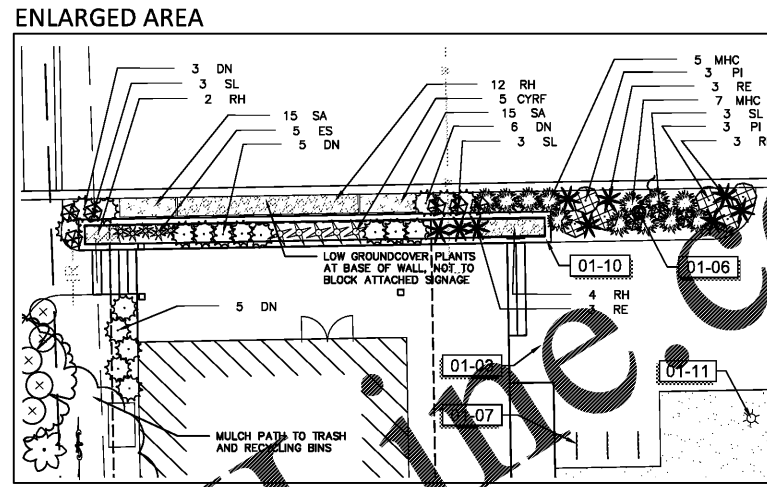
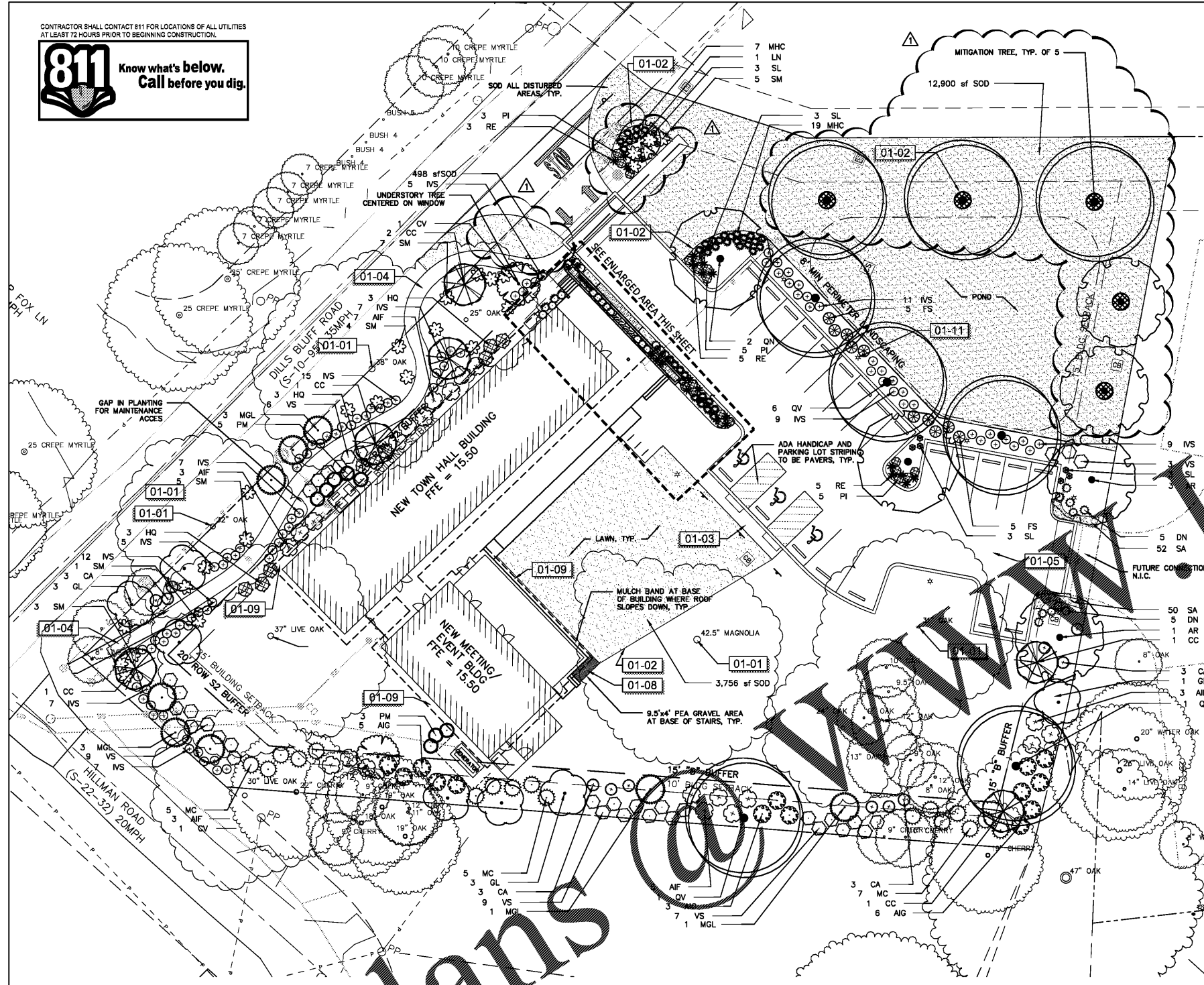


CONTRACTOR SHALL CONTACT 811 FOR LOCATIONS OF ALL UTILITIES AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.



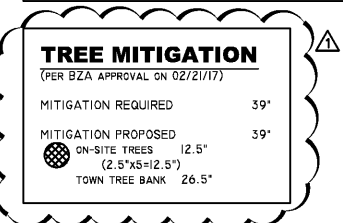
LANDSCAPE REQUIREMENTS

TREES TO MAINTAIN (IN 160' PER AC)	390' OF EXISTING TREES PROPOSED TO REMAIN (235' REQUIRED)
R.O.W. (PER 100LF) 20' WIDE	2 CANOPY TREES 4 UNDERSTORY TREES 35 SHRUBS
TYPE B (PER 100LF) 15' WIDE	3 CANOPY TREES 4 UNDERSTORY TREES 20 SHRUBS
PARKING PERIMETER LANDSCAPING 8' WIDE	1 CANOPY (PER 50LF) 3' HT HEDGE OR WALL

PROPOSED BUFFERS

LOCATION	BUFFER TYPE	LENGTH	REQUIREMENTS	EXISTING	PROPOSED	TOTAL
N PROPERTY LINE (ADJ CHURCH)	N/A		(SEE PARKING PERIMETER LANDSCAPE REQUIREMENTS)			
W PROPERTY LINE (DILLS BLUFF RD)	20' S2 ROW	272 LF	5 CANOPY TREES 11 UNDERSTORY TREES* 95 SHRUBS	5 1 95	- 10 (6 EVGN) 95	5 11 95
SW PROPERTY LINE (HILLMAN STREET)	20' S2 ROW	66 LF	1 CANOPY TREE 3 UNDERSTORY TREES* 23 SHRUBS	1 - -	- 3 23	1 3 23
S PROPERTY LINE (ADJ RES)	15' TYPE B	274 LF	8 CANOPY TREES 11 UNDERSTORY TREES* 55 SHRUBS	7 4 -	1 7 (6 EVGN) -	8 11 55
SE PROPERTY LINE (ADJ RES)	15' TYPE B	43 LF	1 CANOPY TREE 2 UNDERSTORY TREES* 9 SHRUBS	- - -	1 2 (1 EVGN) 9	1 2 9

* 50% UNDERSTORY TREES TO BE EVERGREEN

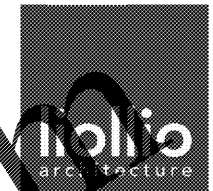
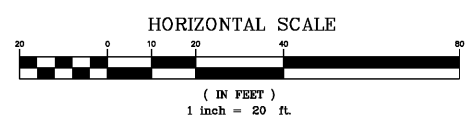


GENERAL NOTES

1. THE CONTRACTOR IS ADVISED TO VISIT THE SITE AND VERIFY FIELD CONDITIONS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE BESTING CODES. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
3. ALL PLANT BEDS SHALL BE MULCHED WITH A MINIMUM 2" PINESTRAW MULCH. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM ALL PLANT BEDS AND NEW CONSTRUCTION.
4. QUANTITIES LISTED ARE AN ESTIMATE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR MUST VERIFY COUNT FROM PLAN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. COMPENSATION BY OWNER SHALL NOT BE IN ORDER FOR Miscalculations. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL OF LANDSCAPE ARCHITECT AND OWNER.
5. EXISTING ECOLOGY AND AESTHETICS WILL DETERMINE ADJUSTMENT OF THESE PLANS TO FIT SITE. STAKE OUT BY CONTRACTOR AND FIELD ADJUSTMENTS BY LANDSCAPE ARCHITECT ARE ABSOLUTELY NECESSARY.
6. ALL PLANT MATERIAL SHALL BE GUARANTEED BY CONTRACTOR FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF DELIVERY AND ACCEPTANCE BY OWNER.
7. THE LOCATION OF ALL ABOVE GROUND AND BELOW GROUND UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE TO UTILITIES AND PERSONAL INJURY AS A RESULT OF THE FAILURE TO DETERMINE AND/OR RESPECT UTILITY LOCATIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. UTILITY LOCATIONS ARE NOT SHOWN ON THESE PLANS.
8. ALL PLANT MATERIAL TO BE INSTALLED WITHIN DRILLING OF EXISTING TREES ARE TO BE DUG BY HAND AND NOT USE TILLING EQUIPMENT OR OTHER METHODS WHICH MAY SIGNIFICANTLY HARM TREE ROOTS.
9. ALL TREES WITH DISTURBED ROOT AREAS AND CANOPY ARE REQUIRED TO BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST. TREATMENTS MAY INCLUDE BUT NOT LIMITED TO DEAD WOOD REMOVAL, CANOPY PRUNING, ROOT PRUNING, AND DEEP ROOT FERTILIZATION OF EXISTING TREES. CERTIFIED ARBORIST SHALL PROPERLY ROOT PRUNE ALL TREE ROOTS IF ENCOUNTERED DURING ANY HARDSCAPE CONSTRUCTION.

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION	DETAIL
01-01	EXISTING TREE TO REMAIN, TYP.	
01-02	LAWN TRENCH EDGE, TYP.	L301
01-03	CONCRETE SIDEWALK, SEE CIVIL PLANS	
01-04	ASPHALT SIDEWALK, SEE CIVIL PLANS	
01-05	PERMEABLE PAVERS, SEE CIVIL PLANS	
01-06	LIGHTED FLAGPOLE, 2 FLAG CAPACITY	A1/L302
01-07	BICYCLE RACK, QTY 3 (6 BIKE CAPACITY)	A2/L302
01-08	PEA GRAVEL WITH STEEL EDGE DETAIL	B1/L302
01-09	MULCH BAND DETAIL	B2/L302
01-10	RAISED PLANTER WITH SIGNAGE, SEE ARCH PLANS	
01-11	PROPOSED LIGHT POLE, SEE ELECTRICAL PLAN	



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Revision Date Description

04/03/2017	SCDOT & 100% QAQC

Town of James Island
TOWN HALL
Dills Bluff Road
Charleston, SC 29412

Project Number:	15102/ADC15304
Checked By:	KGH
Drawn By:	KGH
Date:	01/23/2017
Scale:	varies

L200
TREE MITIGATION & LANDSCAPE PLANTING PLAN